

Development Control B Committee Agenda



Date: Wednesday, 19 December 2018

Time: 2.00 pm

Venue: The Council Chamber - City Hall, College Green, Bristol, BS1 5TR

Distribution:

Councillors: Sultan Khan (Chair), Richard Eddy (Vice-Chair), Carla Denyer, Don Alexander (substitute for either Tom Brook or Harriet Bradley - to be confirmed), Lesley Alexander, Mike Davies, Fi Hance, Olly Mead, Jo Sergeant and Mark Wright (substitute for Harriet Clough)

Copies to: Gary Collins, Jon Fellingham, Laurence Fallon, Rachael Dando, Nick McCamphill, Natalie Queffurus, James MacFadyen, Jeremy Livitt, Norman Cornthwaite, Claudette Campbell and Allison Taylor

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Date: Monday, 10 December 2018



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Agenda

1. Welcome, Introduction and Safety Information

2.00 pm

2. Apologies for Absence

Apologies for Absence have been received from Councillor Tom Brook and Councillor Harriet Bradley. Councillor Donald Alexander will substitute for one of these two Councillors (details to be confirmed in due course).

Apologies have also been received from Councillor Harriet Clough (Councillor Mark Wright substituting).

3. Declarations of Interest

To note any interests relevant to the consideration of items on the agenda.

Any declarations of interest made at the meeting which are not on the register of interests should be notified to the Monitoring Officer for inclusion.

4. Minutes of the previous meeting

To agree the minutes of the last meeting held on 7th November 2018 as a correct record. **(Pages 4 - 11)**

5. Appeals

To note appeals lodged, imminent public inquiries and appeals awaiting decision. **(Pages 12 - 24)**

6. Enforcement

To note enforcement notices. **(Page 25)**

7. Public forum

Any member of the public or councillor may participate in public forum. The detailed arrangements for so doing are set out in the Public Information Sheet at the back of this agenda. Please note that the following deadlines will apply in relation to this meeting:



Questions:

Written questions must be received three clear working days prior to the meeting. For this meeting, this means that your question(s) must be received at the latest **by 5pm on Thursday 13th December 2018.**

Petitions and statements:

Petitions and statements must be received by noon on the working day prior to the meeting. For this meeting, this means that your submission must be received at the latest **by 12pm on Tuesday 18th December 2018.**

The statement should be addressed to the Service Director, Legal Services, c/o The Democratic Services Team, City Hall, 3rd Floor Deanery Wing, College Green,
P O Box 3176, Bristol, BS3 9FS or email - democratic.services@bristol.gov.uk

8. Planning and Development

To consider the following applications for Development Control Committee B - **(Page 26)**

- | | |
|---------------------------------------------------------------------------------|-------------------------|
| a) Application 18/05206/A - Stoke Lodge Playing Field, Shirehampton Road | (Pages 27 - 35) |
| b) Planning Application Number 18/04580/F - 225 Forest Road | (Pages 36 - 50) |
| c) Application Number 18/04579/F - 225 Forest Road | (Pages 51 - 68) |
| d) Planning Application Number 18/05089/F - 15 Ashgrove Road, Redland | (Pages 69 - 113) |

9. Date of Next Meeting

The next meeting of Development Control (B) Committee is scheduled for **6pm on Wednesday 30th January 2019 in the Council Chamber, City Hall, College Green, Bristol.**



Bristol City Council

Minutes of the Development Control B Committee

7 November 2018 at 6.00 pm



Members Present:-

Councillors: Richard Eddy (Chair), Carla Denyer, Harriet Clough, Fabian Breckels, Tom Brook, Harriet Bradley, Mike Davies, Fi Hance, Celia Phipps and Tony Carey

Officers in Attendance:-

Gary Collins, Claudette Campbell (Democratic Services Officer), Ken Reid, Emmeline Reynish, Kayna Tregay and Tom Watson

1. Welcome, Introduction and Safety Information

Cllr Richard Eddy, took the Chair in Cllr Sultan Khan's absence and led introductions of the committee.

2. Apologies for Absence

The following apologies and substitution were noted:

- Cllr Sultan Khan
- Cllr Lesley Alexander sub Cllr Tony Carey
- Cllr Jo Sergeant sub Cllr Fabien Breckels
- Cllr Olly Mead sub Cllr Ceila Phipps

Cllr Tom Brook arrived at 18:20 therefore was unable to participate in the first order of business.

3. Declarations of Interest

None

4. Minutes of the previous meeting

Resolved: that the minutes of the meeting held on 26th September be approved on the assurance that the correct version with agreed amendments are reissued.



5. Appeals

The Head of Development Management gave an overview of the appeals in progress drawing attention to:

- Item 10 Informal Hearing Hamilton House on 2nd October 2018, decision pending.

6. Enforcement

It was noted that there had been 2 Enforcement Notices served since the last Committee Meeting.

7. Public forum

Members of the Committee received Public Forum Statements in advance of the meeting.

The statements were heard before the application they related to and were taken fully into consideration by the Committee prior to reaching a decision

8. Planning and Development

The planning committee considered the following Planning Applications

9. 18/01549/F 26 Lodway Road Bristol BS4 2NR

The representative of the Service Manager – Development Manager made the following comments:

- The application is for the erection of two dwellings; 2 storey houses each with basement; 3 bedrooms; 1 car parking spaces on land to the rear of an existing property.
- Photographs and plans were shared with committee, providing details of how the development would sit in relationship to the gated lane and the main road.
- The lane had been gated under the alley gating scheme lead by the local constabulary and neighbours.
- 28 public comments were received most related to access via the gated lane and parking. As a result of the comments officers consulted with both Bristol City Council's transport development management team and a Crime prevention Design Advisor from Avon & Somerset Police. Neither authority raised any concerns with the revised application.
- The revised application addressed the issue of transport and access and officers were now satisfied that all the required standards had been met, with appropriate arrangements in place.
- Officers recommended the application is approved subject to conditions.

Councillors questions of clarification



- Members had concerns about the number of public forum statements around the issue of access along the lane to the development and questions were asked to explore this aspect of the development. Officers advised that access falls outside the planning process and not a material consideration in deciding the application.
- Officers clarified that although the application made mention of developing dwellings that would be affordable, the proposed dwellings would not meet the definition of affordable and because the development only provided 2 dwellings there was no planning policy requirement to offer any affordable housing.
- Public forum objections came from residents living along the The Crescent, Lodway Rd, and Kensington Rd. The lane is generally used by local people as pedestrian access to the sport facilities and a number of garages to rear of properties.
- Further clarification was provided on the location of the refuge area, which would be located off the lane and not obstructing access.
- The lane is a private lane and does not form part of the highway therefore any issues around the ally-gating scheme is outside the planning process, this includes maintenance which remains with those responsible for installation.
- Officers were satisfied that the revised application provided adequate evidence about vehicle movement across and along the lane.

Councillor debate

- Cllr M Davies noted that the application made good use of land and the revised plans were well intended. He would support the application as it provided much needed housing.
- Cllr H Bradley noted that there were good distances between residential properties and she was minded to support.
- Cllr T Carey commented that he had concerns about access of construction vehicles to the site and possible limited ability to manoeuvre, along and to and from the site.
- Cllr M Davies proposed approval and Cllr Bradley seconded.

Resolved: (9 for unanimously by those present) that the application contained in the report be approved subject to the conditions set out in the report.

10 18/00386/F Land To Rear of Tec House 6 Marsh Street City Centre Bristol BS1 4AX

The representative of the Service Manager – Development Manager made the following comments:

- This planning application had been referred to committee by Cllr P Smith, for consideration, as Cllr Smith considered that it fell within the guidelines of the 'Urban Living' Supplementary Planning Document (SPD), and Officers had not recommended approval of the application.
- The proposed development would create new housing on a site located to the rear of Tec house, in an area that bordered Marsh Street and Baldwin Street in the City Centre.
- The Officer outlined the concerns about the development;
 - It would fail to provide adequate living conditions for future occupiers and would harm the amenity of existing neighbours
 - There are concerns about the poorly defined entrance and unclear distinction between public and private space. The Police advised that there is a possibility of tailgating and



that it would be usual to see strangers on site, because the owners of Tec House have a right of access through the site and the businesses on Broad Quay store their bins to the rear of their buildings, facing into the site. This could allow intruders anonymity to commit offences.

- The future levels of daylight and sunlight for future occupiers are of a major concern, based on the applicant's daylight and sunlight assessment which showed that many rooms in the proposed flats would fail tests relating to daylight and sunlight. The outlook of future occupiers would be poor
- The proposed development would also be unacceptably overbearing and would unacceptably affect the outlook of neighbouring properties.
- Overall, the proposals would not create a good quality living environment for future occupiers and would harm the amenity of neighbours. Therefore Officers recommended refusal.

Councillors question of clarification

- Councillors asked if with the addition of lighting and CCTV to the entrance whether that would satisfy the safety concerns raised by the police, who were concerned with the possibility of non-residents passing through the site. Officers advised that whilst this may improve the situation, police concerns would still remain.
- Further explanation was provided on the access to daylight and sunlight into the development, based on the guidance document produced by the 'Building Research Establishment', with Officers referring to the detailed tests that proposals should pass in order to provide adequate daylight and sunlight. The officer read out the conclusion of the daylight and sunlight report: "The nature of the confined site will restrict the daylight and sunlight amenity to any scheme. However, the scheme architect has sought to optimise the amount of natural light by maximising the amount of glazing and positioning the main rooms so that the windows have least obstruction." Clarification was sought on whether the waste collection would be done by a private contractor or Bristol City Council Waste services kerbside collection scheme. Officers advised that either would be acceptable.

Councillor's debate

- Cllr R Eddy supported Cllr P Smith view of the development. That to meet the needs of the housing crisis as many infill sites should be development before any further construction took place on Green Belt land around the city. The Council had adopted proposal ULH3 'Urban Living – making efficient use of land to meet our needs' therefore on that basis this development should be consider favourably as in its design it had met and answered many questions on arising issues.
- Cllr M Davies supported the need to utilise land in a creative way and believe that this development would be built to a high quality standard; that it was ambitious in its design and that he would support.
- Cllr F Breckels advised that he had taken the time to visit the site and considered that if lighting and CCTV was conditioned and fitted to the properties neighbouring the development it would satisfy safety concerns. This brownfield site was unusual and would benefit from this quality development as any alternative was limited. Approving this development would set a good precedent.
- Cllr T Brook agreed with the comments already made and wanted to add that waste collection should be done by private contractor to avoid the issues arising from kerb side collections.



- Cllr F Hance agreed that what was proposed was a well-designed building but had concerns about supporting 'housing at any cost' especially where officers had highlighted the issues around daylight and sunlight levels and distance between existing properties.
- Cllr C Denyer supported the comments made by Cllr Hance and added concerns about the possible future issue of residents wellbeing being impacted by the low levels of daylight and sunlight and the link to poor mental health.
- Cllr H Clough reminded all that they should be mindful that there was a national standard for daylight and sunlight for a reason. The design for the building fit the difficult site layout. She wondered if consideration had been given to the addition of skylights.
- Members discussed approving the scheme with added conditions to cover the requirement for; appropriate lighting; CCTV in the entrance strategically placed on neighbouring buildings if necessary; and private waste collection.
- Cllr R Eddy proposed that the application be approved subject to conditions, Cllr M Davies seconded.

Resolved (7 for approval and 3 against) that the application be approved subject to the following conditions

11 17/05700/F Kings Weston Reservoir Tufton Avenue Bristol

The representative of the Service Manager – Development Manager made the following comments:

- The Officer outlined the development to committee drawing attention to its location on the unusual site of a former reservoir.
- The proposed self-build development would provide 33 units/12 flats; community garden; 33 parking spaces; 27 trees would replace the 8 being removed;
- The consultation resulted in 62 comments in support and the 6 objections were concerned about the impact of the development to the local highway.
- The scheme was fairly unique in that it was a self-build scheme delivering no affordable housing and the requirement to do so would only be attached if the scheme was then sold on.
- Officers recommended approval of the application.

Councillors question of clarification

- Jim Cliffe , the Planning Obligations Manager, fielded the questions arising around the Affordable element of a self-build development.
- He commented as follows;
 - Self-build schemes operate very differently from mainstream housing schemes built by a commercial housebuilder. The build costs could vary significantly from plot to plot and the end value of the properties could also vary significantly depending on the individuality of each self-builders requirements. This makes viability testing very difficult as there are a large number of unknowns. For the purposes of the viability testing it is assumed that the construction of the properties will be undertaken by builders commissioned by the self-builder, and the end values are reflective of current new build values achieved by commercial housebuilders in the area.



- The scheme also contains elements (such as a communal building) that a commercial housebuilder would not include within a development, which further increases costs.
- What makes self-build property more affordable to the self-builder is that they are not having to pay a developers profit.
- An individual purchases a plot to build a house; the construction of the building can happen over a prolonged period of time; the plot could be a shell that the purchaser completes within their own timeframe.
- The design plan incorporated underground parking including 3 spaces for guest at the entrance to the site.
- Following a question from Cllr Denyer, it was clarified that if the scheme was sold to a housing developer and it ceased to be a self-build development; 30% affordable housing would be required, and this would be secured via a planning condition or obligation. The right of way on the plans were reviewed and a further explanation provided that Park services had requested an improvement to the footpath and this would be finalised during the planning process
- A question was posed on whether self-build building cost were above the normal cost to build a house. Members were informed that it would very much depend on the approach that the self-builder took. If the self-builder literally built the property themselves, then their only costs would be for materials, and in this case the costs would be likely to be lower than the costs that a housing developer would incur. However, if the self-builder commissioned someone to build the property for them, then the costs would be likely to be higher than the costs that a housing developer would incur. For the purposes of the viability assessment, it was assumed that the self-builders commissioned the construction of their property.

Councillor's debate:

- Members of committee were supportive of a self-build scheme of this size; had positive comments on the design and the innovative underground car park.
- The Chair moved to approve and Cllr F Breckels seconded

Resolved (10 for approval, unanimous) that the application be approved subject to conditions.

12 18/02968/X Avon Crescent Bristol BS1 6XQ

The representative of the Service Manager – Development Manager made the following comments:

- The application was for a variation to the planning permission granted in 2014 for the Ashton Vale to Temple Meads (AVTM) Metrobus scheme and the developments relating to Avon Crescent the present application sought permission to amend the scheme proposed for Avon Crescent.
- Cllr M Wright had called in the application on the basis that the scheme failed to address the issues of vehicle access and speed along the crescent.
- A summary of the amendments to the scheme;
 - Removal of proposed 'shared space' highway surface treatment, including hard and soft landscaping
 - Proposed speed table to the north of the crescent with cycle access to the MetroBus stop
 - Proposed extended footway area between Avon Crescent and McAdam Way
 - Proposed refuge island, contraflow cycleway



- Removal of proposed realigned retaining wall between Cumberland Road and Avon Crescent
- Retention of existing retaining wall between Cumberland Road and Avon Crescent
- A number of objections had been received from the residents of the crescent to the amended design.

Councillors question of clarification

- Members asked for to be talked through from the visual plans the cyclist route along the crescent. During the course of the discussion Officers accepted that the contra flow arrangements only went partially along the crescent; that it put cyclists in the path of parked vehicles; that the cycle provision then disappeared.
- That the pavement width requirement for disabled access was 1.1 metres and the proposed scheme met this requirement because the width of the pavements varied between 1-1.15m.
- Members commented that this was a less expensive way for the developer to provide the promised shared space scheme.
- Officers advised in response that the revised scheme did provide for the reduction in vehicle speed and the reduction in vehicle volumes along the crescent.
- The speed table was discussed. The design would incorporate colour to define it.
- The reason for the diagonal design for parking the bays was explained; leading authorities believed that such a layout allowed for the reduction to the width of the highway this in turn causes a natural reduction in speed.
- The designs showed the parking bays across from the entrance to the Underfall Yard but members were assured that this was not the final design and adjustment would be made to meet the need for long boats to enter and exit the yard.

Councillor debate:

- Cllr F Breckels was not happy with the proposed shared scheme suggesting the application should be rejected and should be reconsidered by the applicants
- Cllr R Eddy agreed adding that residents were promised an alternative scheme but as a result of development cost overruns they were being offered something else.
- Cllr H Clough shared her concerns about the accessibility to the metrobus stop by those in a wheelchair along the pavement how they would transverse this limited shared space.
- Members were reminded that they were to consider the application in planning terms and not base the decision on whether it was a better or worse scheme.
- Members considered speed tables to be ineffective, failing to slow traffic and causing excessive noise as cars failed to slow down before crossing the table.
- Members noted the design for parking impeded the entrance of the Underfall Yard considering the route for cyclist took them passed parked cars.
- Members expressed concern that many aspects of the proposed scheme was unsafe.
- Cllr M Davies proposed approval of the scheme but no member was prepared to second the proposal to approve.



- Members discussed with Officers and agreed that a site visit would be arranged and that the application would be deferred until after that visit. That the applicant would be asked to further consider safety of all users of the Crescent.
- The Chair proposed and Cllr Davies seconded

Resolved: (unanimously agreed) That the decision on this application would be deferred until after a site visit was arranged.

13 Date of Next Meeting 19th December 2018 @ 2pm

Meeting ended at 8.40 pm

CHAIR _____



DEVELOPMENT CONTROL COMMITTEE B

19th December 2018

REPORT OF THE SERVICE DIRECTOR - PLANNING

LIST OF CURRENT APPEALS

Householder appeal

| Item | Ward | Address, description and appeal type | Date lodged |
|------|-----------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|
| 1 | Westbury-on-Trym & Henleaze | 19 Stoke Lane Westbury Bristol BS9 3DP Retention of loft extension. Appeal against refusal Delegated decision | 23/10/2018 |
| 2 | Ashley | 16 Kathdene Gardens Bristol BS7 9BN Two storey extension to the rear of the property and new dormer loft conversion with roof balcony and raised deck. Appeal against refusal Delegated decision | 23/10/2018 |
| 3 | Westbury-on-Trym & Henleaze | 14 Southfield Road Westbury Bristol BS9 3BH Replacement of existing wooden single glazed sash windows with uPVC double glazed units (3no. at the front of the house facing the street, 3no. at the rear). Appeal against refusal Delegated decision | 26/10/2018 |
| 4 | Lawrence Hill | 30 Eve Road Bristol BS5 0JX Loft conversion & ground floor extension. Appeal against refusal Delegated decision | 29/10/2018 |
| 5 | Ashley | 2 Watercress Road Bristol BS2 9YJ Construction of roof extension and associated roof terrace. Appeal against refusal Delegated decision | 07/11/2018 |

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| 6 | Bishopsworth | 75 St Peters Rise Bristol BS13 7NA Notification of prior approval for the erection of a single storey, rear extension that would extend beyond the rear wall of the original house by 4.5 metres, have a maximum height of 4.0 metres and have eaves that are 3.0 metres high. Appeal against refusal Delegated decision | 07/11/2018 |
| 7 | Lockleaze | 147 Dovercourt Road Bristol BS7 9SF Proposed two storey rear and side extension and hip to gable roof extension. Appeal against refusal Delegated decision | 07/11/2018 |
| 8 | Lockleaze | 11 Dorchester Road Bristol BS7 0LA Two storey side extension with front porch. Appeal against refusal Delegated decision | 08/11/2018 |
| 9 | Westbury-on-Trym & Henleaze | 9 Dyrham Close Bristol BS9 4TF Enclosing an existing balcony at first floor level using double glazed windows. Appeal against refusal Delegated decision | 08/11/2018 |
| 10 | Bedminster | Advertising Next To 267 West Street Bedminster Bristol BS3 3PZ Replacement of existing internally illuminated 48-sheet backlight advertising display with an internally illuminated 48-sheet digital advertising display. Appeal against refusal Delegated decision | 05/12/2018 |
| 11 | Ashley | 62 North Road Bishopston Bristol BS6 5AF Excavation and construction of a new driveway. Appeal against refusal Delegated decision | 05/12/2018 |

Informal hearing

| Item | Ward | Address, description and appeal type | Date of hearing |
|------|---------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|
| 12 | Filwood | PX Centre Bedminster Road Bristol BS3 5NR Outline planning application (with access, layout, scale and appearance to be considered) for redevelopment of the site to provide 32no. self-contained flats (Use Class C3) with associated access, parking, drainage and hard/soft landscape works. Appeal against refusal Delegated decision | TBA |

Public inquiry

| Item | Ward | Address, description and appeal type | Date of inquiry |
|------|-----------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|
| 13 | Central | <p>Old Bristol Royal Infirmary Building Marlborough Street (South Side) City Centre Bristol BS1 3NU</p> <p>Demolition of the existing buildings and redevelopment of the site to provide a part 7, 8 and 9 storey building fronting Marlborough Street, comprising 715 student bedspaces; communal areas and central courtyard; and erection of part 4, 5 and 6 storey building to the rear to accommodate a mix of uses, including office floorspace (Use Class B1) and/or medical school (Use Class D1) equating to 6,860sqm and a small commercial unit; associated access road, landscaping, public realm improvements, undercroft car parking and cycle parking. (MAJOR).</p> <p>Appeal against non-determination Committee</p> | TBA |
| 14 | Avonmouth & Lawrence Weston | <p>8 - 10 Station Road Shirehampton Bristol BS11 9TT</p> <p>Demolition of glasshouses and redevelopment to form 33 No. apartments for the elderly, guest apartment, communal facilities, access, car parking and landscaping.</p> <p>Appeal against refusal</p> <p>Delegated decision</p> | 20/11/2018 |
| 15 | Ashley | <p>15-16 Brunswick Square Bristol BS2 8NX</p> <p>Proposed change of use from Private Members' Club (Sui Generis) at ground floor and lower ground floor with ancillary office use on the upper floors to office floorspace (B1a) on all floors with associated provision of waste storage and bicycle parking facilities and external alterations.</p> <p>Appeal against refusal</p> <p>Delegated decision</p> | 19/03/2019 |
| 16 | Ashley | <p>15-16 Brunswick Square Bristol BS2 8NX</p> <p>Internal and external works associated with the proposed change of use from Private Members' Club (Sui Generis) at ground floor and lower ground floor with ancillary office use on the upper floors to office floorspace (B1a) on all floors with associated provision of waste storage and bicycle parking facilities.</p> <p>Appeal against refusal</p> <p>Delegated decision</p> | 19/03/2019 |

Written representation

| Item | Ward | Address, description and appeal type | Date lodged |
|------|--------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|
| 17 | Lawrence Hill | 199 Avonvale Road Bristol BS5 9SR Enforcement Appeal against notice served for works to roof including front dormer without planning permission. Appeal against an enforcement notice | 28/08/2018 |
| 18 | Bishopston & Ashley Down | 318 Gloucester Road Horfield Bristol BS7 8TJ Enforcement notice appeal for extension at rear of property. Appeal against an enforcement notice | 10/09/2018 |
| 19 | Windmill Hill | 154 Marksbury Road Bristol BS3 5LD Enforcement notice appeal for the development being the erection of a detached ancillary building being larger than approved by planning permission 16/04845/H. Appeal against an enforcement notice | 10/09/2018 |
| 20 | Windmill Hill | 154 Marksbury Road Bristol BS3 5LD Retention of single storey building in rear garden. Appeal against refusal Delegated decision | 10/09/2018 |
| 21 | Eastville | 631 - 633 Fishponds Road Fishponds Bristol BS16 3BA Enforcement notice appeal for the erection of structure in the rear yard used in association with the commercial ground floor unit. Appeal against an enforcement notice | 10/09/2018 |
| 22 | Cotham | 16 Clyde Road Redland Bristol BS6 6RP Partial demolition of existing garage/store structure and erection of a single storey, 1 bedroom dwelling with revised access. Appeal against refusal Delegated decision | 10/09/2018 |
| 23 | Clifton Down | 36 Hampton Park Bristol BS6 6LH Construction of a one bed house, sunken into existing rear garden. Appeal against refusal Delegated decision | 10/09/2018 |

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| 24 | Bishopston & Ashley Down | 126 Downend Road Horfield Bristol BS7 9PW Application for a Lawful Development Certificate for a Proposed use or development - Existing garage converted to annex to main house. Appeal against refusal Delegated decision | 13/09/2018 |
| 25 | Easton | 112 Robertson Road Bristol BS5 6JW Erection of single residential dwelling. Appeal against refusal Delegated decision | 24/09/2018 |
| 26 | Central | City Point Temple Gate Bristol BS1 6PL LED Digital Smartscreen. Appeal against refusal Delegated decision | 03/10/2018 |
| 27 | Hillfields | 227 Lodge Causeway Bristol BS16 3QW Residential development of 2no. 2-bed apartments with vehicular parking, refuse store and cycle racks on land to the rear of 227 Lodge Causeway. Appeal against refusal Delegated decision | 03/10/2018 |
| 28 | Central | Central Reservation Temple Way Bristol BS1 6NH Erection and display of a single sided advertising panel to be used to show illuminated advertisements capable of automatic sequential change. Appeal against refusal Committee | 04/10/2018 |
| 29 | Clifton | 85 Queens Road Clifton Bristol BS8 1QS 1 x internally illuminated Fascia Sign. 1x Internally illuminated Hanging Sign. Appeal against refusal Delegated decision | 04/10/2018 |
| 30 | Filwood | 13 Leinster Avenue Bristol BS4 1NH Erection of a two storey, 3-bed detached dwelling. Appeal against refusal Delegated decision | 04/10/2018 |
| 31 | Lawrence Hill | Public Footpath West Side Of Bond Street South Bristol BS1 3EN This application seeks consent for the erection and display of a single sided advertising structure to be used to show illuminated advertisements capable of automatic change of image. Appeal against refusal Committee | 04/10/2018 |

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| 32 | Redland | 22B Gloucester Road Bishopston Bristol BS7 8AE Removal of existing dormer for proposed enlarged dormer extension with external access onto roof as a result of alteration to existing lean to roof to flat roof. Appeal against refusal Delegated decision | 08/10/2018 |
| 33 | Ashley | Land Next To 75 City Road Bristol BS2 8UQ New three storey end of terrace building containing 2no. residential units. Appeal against refusal Delegated decision | 08/10/2018 |
| 34 | Lockleaze | Golden Bottle Inn Constable Road Bristol BS7 9YF Outline application for the demolition of Golden Bottle Inn and the erection of 10no. 3 bedroom houses (formed within two short terraces and two pairs of semi-detached properties) with associated parking and gardens (with access, appearance, layout and scale to be determined, all other matters reserved) - (Major Application). Appeal against refusal Delegated decision | 11/10/2018 |
| 35 | Avonmouth & Lawrence Weston | Land Adjacent To Karakal Penpole Lane Bristol BS11 0EA Change of use of site to store 19 Self Storage units (B8 use class). Appeal against refusal Delegated decision | 16/10/2018 |
| 36 | Ashley | Wadham Mansions Balmoral Road Bristol BS7 9AU Erection of a 4 storey building comprising 2 No (1 bed-space) studio apartments and 1 No (4 bed-space) 2 bedroom duplex, with cycle store, attached to existing 4 storey block of apartments. Appeal against refusal Delegated decision | 16/10/2018 |
| 37 | Hillfields | 16 Woodcote Road Bristol BS16 4DE Proposed new 1no. bedroom house, on land adjacent to 16 Woodcote road and a 2 storey extension to the existing house. Appeal against refusal Delegated decision | 17/10/2018 |
| 38 | Central | (Land East Of) Colston Street Bristol BS1 5AY Alterations to boundary wall, new access, development of sui-generis residential units for students (2no. 5-bed cluster flats), with associated refuse and cycle storage. Appeal against refusal Committee | 18/10/2018 |

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| 39 | Central | (Land To The East Of) Colston Street Bristol BS1 5AY Alterations to boundary wall, new access, development of sui- generis residential units for students (2no. 5-bed cluster flats), with associated refuse and cycle storage. Appeal against refusal Committee | 18/10/2018 |
| 40 | Southmead | 21 Shetland Road Bristol BS10 5JT Erection of a detached dwellinghouse. Appeal against refusal Delegated decision | 18/10/2018 |
| 41 | Avonmouth & Lawrence Weston | 16 Grove Leaze Bristol BS11 9QN Erection of a single storey rear extension. Appeal against conditions imposed Delegated decision | 26/10/2018 |
| 42 | Stockwood | 18 Burfoote Gardens Bristol BS14 8TE Conversion of existing garage and erection of a first floor extension to provide a two storey dwelling house. Appeal against refusal Delegated decision | 08/11/2018 |
| 43 | Stoke Bishop | 19 Druid Hill Bristol BS9 1EW Single storey side extension to extend existing hair salon. Appeal against refusal Delegated decision | 12/11/2018 |
| 44 | Easton | 28 York Road Easton Bristol BS5 6BJ Application for a Certificate of Proposed Development - proposed porch. Appeal against refusal Delegated decision | 15/11/2018 |
| 45 | Clifton Down | 40 - 44 St Pauls Road Clifton Bristol BS8 1LR Retrospective application for the erection of a timber structures over the rear patio area. Appeal against refusal Delegated decision | 27/11/2018 |
| 46 | Clifton Down | 40 - 44 St Pauls Road Clifton Bristol BS8 1LR Retrospective application for the erection of a timber structure over the rear patio area. Appeal against refusal Delegated decision | 27/11/2018 |

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| 47 | Clifton Down | 40 - 44 St Pauls Road Clifton Bristol BS8 1LR Enforcement notice appeal for the erection of timber structures to rear without planning permission. Appeal against an enforcement notice | 27/11/2018 |
| 48 | Hillfields | 62 Hillfields Avenue Bristol BS16 4JP New dwelling. Appeal against refusal Delegated decision | 05/12/2018 |

List of appeal decisions

| Item | Ward | Address, description and appeal type | Decision and date decided |
|------|------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------|
| 49 | Frome Vale | St Mary's Church Manor Road Fishponds Bristol BS16 2JB Yew - Fell TPO 472. Appeal against refusal Delegated decision | Appeal dismissed 06/11/2018 |
| 50 | Horfield | 20 Northwick Road Bristol BS7 0UG Proposed bungalow C3 dwelling. Appeal against refusal Delegated decision | Appeal dismissed 06/11/2018 |
| 51 | Ashley | Hamilton House 80 Stokes Croft Bristol BS1 3QY Notification for prior approval for a proposed change of use of Blocks B & C from office use (Class B1(a)) to dwellinghouses (Class C3) to provide 45no. self-contained dwellings (comprising 25no. one bed units and 20no. two bed units). Appeal against refusal Delegated decision | Appeal dismissed 20/11/2018 Costs not awarded |
| 52 | Central | 6 Tyndalls Park Road Bristol BS8 1PY Demolition of boundary wall and construction of a two storey building containing 2no. studio apartments (sui generis use) with associated provision of amenity space, refuse and cycle storage. Appeal against refusal Delegated decision | Appeal dismissed 14/11/2018 |
| 53 | Stockwood | 1 Atkins Close Bristol BS14 8JS Proposed two storey, self-contained, single dwellinghouse. Appeal against refusal Delegated decision | Appeal allowed 30/10/2018 |

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| 54 | Central | Raj Mahal City Clarence Road Redcliff Bristol BS1 6RP Demolition of existing building and erection of a building containing 73no. student bedspaces, communal space and cycle parking (major application). Appeal against refusal Delegated decision | Appeal dismissed 01/11/2018 |
| 55 | Cotham | 140B Redland Road Bristol BS6 6YA Conversion of existing flat roof to external terrace with external cladding to rear elevation. Appeal against refusal Delegated decision | Appeal dismissed 02/11/2018 |
| 56 | Westbury-on-Trym & Henleaze | 46 Henleaze Avenue Bristol BS9 4ET Proposed single storey building to provide a retail sales/repair shop for mobile phones. Appeal against refusal Delegated decision | Appeal dismissed 08/11/2018 |
| 57 | Westbury-on-Trym & Henleaze | Badminton School Westbury Road Bristol BS9 3BA Resurfacing of existing school loose gravel paths with patterned concrete. Appeal against conditions imposed Delegated decision | Appeal allowed 16/11/2018 |
| 58 | Westbury-on-Trym & Henleaze | Badminton School Westbury Road Bristol BS9 3BA Resurfacing of existing school loose gravel paths with patterned concrete. Appeal against conditions imposed Delegated decision | Appeal allowed 16/11/2018 |
| 59 | Westbury-on-Trym & Henleaze | 7-9 High Street Westbury Bristol BS9 3BY Integration of 5no roof lights above the principle elevation and 5 above the rear elevation of the existing property. Subdivision of existing Flat 2 to create two dwelling units on the second floor and in converted loft space. Appeal against refusal Delegated decision | Appeal allowed 16/11/2018 |
| 60 | Clifton | Mortimer House Nursing Home Clifton Down Road Bristol BS8 4AE Proposed landscaping / external work alterations to return the front garden to the original layout and provision of car parking facilities at the rear of the building accessed through a new opening in the side wall controlled by a sliding timber gate. Appeal against refusal Committee | Appeal allowed 23/11/2018 Costs not awarded |

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|----|-----------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------|
| 61 | Clifton | Mortimer House Nursing Home Clifton Down Road Bristol BS8 4AE Proposed landscaping / external work alterations to return the front garden to the original layout of the listed building and providing car parking facilities at the rear of the building accessed through a new opening in the side wall controlled by a sliding timber gate. Appeal against refusal Committee | Appeal allowed 23/11/2018 Costs not awarded |
| 62 | Redland | 8 & 9 Belvedere Road Bristol BS6 7JG New entrance canopy. Appeal against refusal Delegated decision | Appeal dismissed 29/10/2018 |
| 63 | Eastville | Land At The Rear Of 134 - 136 Fishponds Road Eastville Bristol BS5 6PP Erection of 1 x 3 storey dwelling and 1 x 2 storey dwelling on land to the rear of 134 - 136 Fishponds Road. Appeal against refusal Delegated decision | Appeal dismissed 30/10/2018 |
| 64 | Clifton Down | 67 & 69 Whiteladies Road And 16A & 17A Aberdeen Road Bristol BS8 2NT Change of use of the existing Kwik Fit unit located at the junction of Whiteladies Road and Aberdeen Road from Use Class B2 (General Industrial) to Use Class A1 (Retail). Appeal against refusal Committee | Appeal allowed 26/11/2018 |
| 65 | Hengrove & Whitchurch Park | 29 & 31 Bamfield Bristol BS14 0SN Creation of vehicular access onto a classified road and off-street parking areas for both properties. Appeal against refusal Delegated decision | Appeal allowed 28/11/2018 |
| 66 | Lockleaze | 17 Melton Crescent Bristol BS7 0LF Extension of the existing building to form 3 x HMO C4 flats. Appeal against refusal Delegated decision | Appeal dismissed 16/11/2018 |
| 67 | Westbury-on-Trym & Henleaze | 12 Southover Close Bristol BS9 3NG Demolition of Existing Dwelling and Development of 6no. Flats and Associated Works (resubmission of 18/00317/F). Appeal against refusal Delegated decision | Appeal dismissed 28/11/2018 |

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| 68 | Clifton Down | 18 Elgin Park Bristol BS6 6RX Erection of garden room extension to existing annex with associated alterations. Appeal against refusal Delegated decision | Appeal allowed 28/11/2018 |
| 69 | Stoke Bishop | 3 Dingle Road Bristol BS9 2LN Application for variation of condition no.11 (List of Approved Plans) attached to planning permission 16/05204/F. Appeal against refusal Delegated decision | Appeal dismissed 05/12/2018 |
| 70 | Stoke Bishop | 3 Dingle Road Bristol BS9 2LN Variation of condition 11 of reference number: 16/05204/F - To allow external alterations to improve internal arrangement. Appeal against refusal Delegated decision | Appeal allowed 05/12/2018 |
| 71 | Clifton | 30 York Gardens Bristol BS8 4LN Creation of a roof terrace, involving the removal of a portion of the rear roof slope. Additional installation of PV panels. Appeal against refusal Delegated decision | Appeal dismissed 09/11/2018 |
| 72 | Southville | 13 Pembroke Road Southville Bristol BS3 1PP Erection of roof/second floor rear extension, extension over existing outrigger/back addition and second floor rear balcony. Appeal against refusal Delegated decision | Appeal dismissed 15/11/2018 |
| 73 | Southville | 15 Pembroke Road Southville Bristol BS3 1PP Erection of roof/second floor rear extension, extension over existing outrigger/back addition and second floor rear balcony. Appeal against refusal Delegated decision | Appeal dismissed 15/11/2018 |
| 74 | Central | InLink Outside Prudential Building Wine Street Bristol BS1 2PH Two digital LED display screens, one on each side of the InLink. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |
| 75 | Central | InLink Outside Prudential Building Wine Street Bristol BS1 2PH Erection of freestanding InLink providing ultrafast WiFi and other community services and removal of 2No. BT payphones, with excess space returned to the community. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |

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|----|---------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|
| 76 | Central | Inlink Corner Of The Horsefair And Union Street Bristol BS1 3BB Erection of freestanding InLink providing ultrafast WiFi and other community services and removal of 2No. BT payphones, with excess space returned to the community. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |
| 77 | Central | Inlink Outside The Gym At Quakers Friar Merchant Street Bristol BS1 3BU Erection of freestanding InLink providing ultrafast WiFi and other community services and removal of 2No. BT payphones, with excess space returned to the community. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |
| 78 | Central | InLink Outside Debenhams The Horsefair Bristol BS1 3EE Erection of freestanding InLink providing ultrafast WiFi and other community services and removal of 2No. BT payphones, with excess space returned to the community. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |
| 79 | Central | InLink Outside Debenhams The Horsefair Bristol BS1 3EE Two digital LED display screens, one on each side of the InLink. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |
| 80 | Central | Broadmead (Os No.5 O2) Bristol BS1 3HH Erection of freestanding InLink providing ultrafast WiFi and other community services and removal of 2No. BT payphones, with excess space returned to the community. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |
| 81 | Central | Horsefair (Os No.101-105 Mcdonalds Jct Concorde Street) Bristol BS1 3JR Two digital LED display screens, one on each side of the InLink. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |
| 82 | Central | Horsefair (Os No.101-105 Mcdonalds Jct Concorde Street) Bristol BS1 3JR Erection of freestanding InLink providing ultrafast WiFi and other community services and removal of 2No. BT payphones, with excess space returned to the community. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |

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|----|------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|
| 83 | Central | InLink Outside 23 To 25 St Augustines Parade Bristol Erection of freestanding InLink providing ultrafast WiFi and other community services and removal of 2No. BT payphones. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |
| 84 | Central | Inlink Corner Of The Horsefair And Union Street Bristol BS1 3BB Two digital LED display screens, one on each side of InLink. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |
| 85 | Central | InLink Outside 23 To 25 St Augustines Parade Bristol Two digital LED screens, one on each side of the InLink. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |
| 86 | Central | Broadmead (Os No.5 O2) Bristol BS1 3HH Two digital LED display screens, one each side of the InLink. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |
| 87 | Central | Inlink Outside The Gym At Quakers Friar Merchant Street Bristol BS1 3BU Two digital LED display screens, one on each side of the InLink. Appeal against refusal Delegated decision | Appeal withdrawn 31/10/2018 |
| 88 | Bedminster | Land Adj To 5 Winterstoke Road Bristol BS3 2NN Replacement of an existing slimline internally illuminated 48-sheet advertising display with a 48-sheet digital LED display. Appeal against refusal Delegated decision | Appeal dismissed 04/12/2018 |

DEVELOPMENT CONTROL COMMITTEE B

19th December 2018

REPORT OF THE SERVICE DIRECTOR - PLANNING

LIST OF ENFORCEMENT NOTICES SERVED

| Item | Ward | Address, description and enforcement type | Date issued |
|------|-------------------------|-------------------------------------------------------------------------------------------------------------------------------------|-------------|
| 1 | Bedminster | 6A Duckmoor Road Bristol BS3 2BY Installation of shipping container. Enforcement notice | 31/10/2018 |
| 2 | Brislington East | 2 Newbridge Road Bristol BS4 4DH To take discontinuance action in respect of advertisement hoarding. Discontinuance notice | 03/12/2018 |
| 3 | Frome Vale | 1 Claverham Road Bristol BS16 2HT Works not in accordance with planning permission 17/03366/H Enforcement notice | 30/10/2018 |
| 4 | St George Troopers Hill | 7 Windsor Avenue Bristol BS5 8RF Dormer roof extension. Enforcement notice | 30/10/2018 |

Development Control Committee B 19 December 2018

Report of the Service Director - Planning

Index

Planning Applications

| Item | Ward | Officer Recommendation | Application No/Address/Description |
|------|--------------|---------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1 | Stoke Bishop | Grant | 18/05206/A - Stoke Lodge Playing Field Shirehampton Road Bristol BS9 2BH Retrospective application for installation of sign. |
| 2 | Hillfields | Refuse | 18/04580/F - 225 Forest Road Bristol BS16 3QX Conversion of an existing 2-storey 3-bedroom house into two 1-bedroom flats. |
| 3 | Hillfields | Refuse | 18/04579/F - 225 Forest Road Bristol BS16 3QX Proposed construction of a new 1no. bedroom, two-storey residential dwelling in the rear garden of the existing house at 225 Forest Road and the associated external works and boundary treatments. |
| 4 | Clifton Down | Grant | 18/05089/F - 15 Ashgrove Road Redland Bristol BS6 6NA Construction of 3-storey building incorporating a basement level below ground for single dwelling house (use class C3). |

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Development Control Committee B – 19 December 2018

ITEM NO. 1

WARD: Stoke Bishop **CONTACT OFFICER:** Nick McCamphill

SITE ADDRESS: Stoke Lodge Playing Field Shirehampton Road Bristol BS9 2BH

APPLICATION NO: 18/05206/A **Advertisement**

DETERMINATION DEADLINE: 3 December 2018

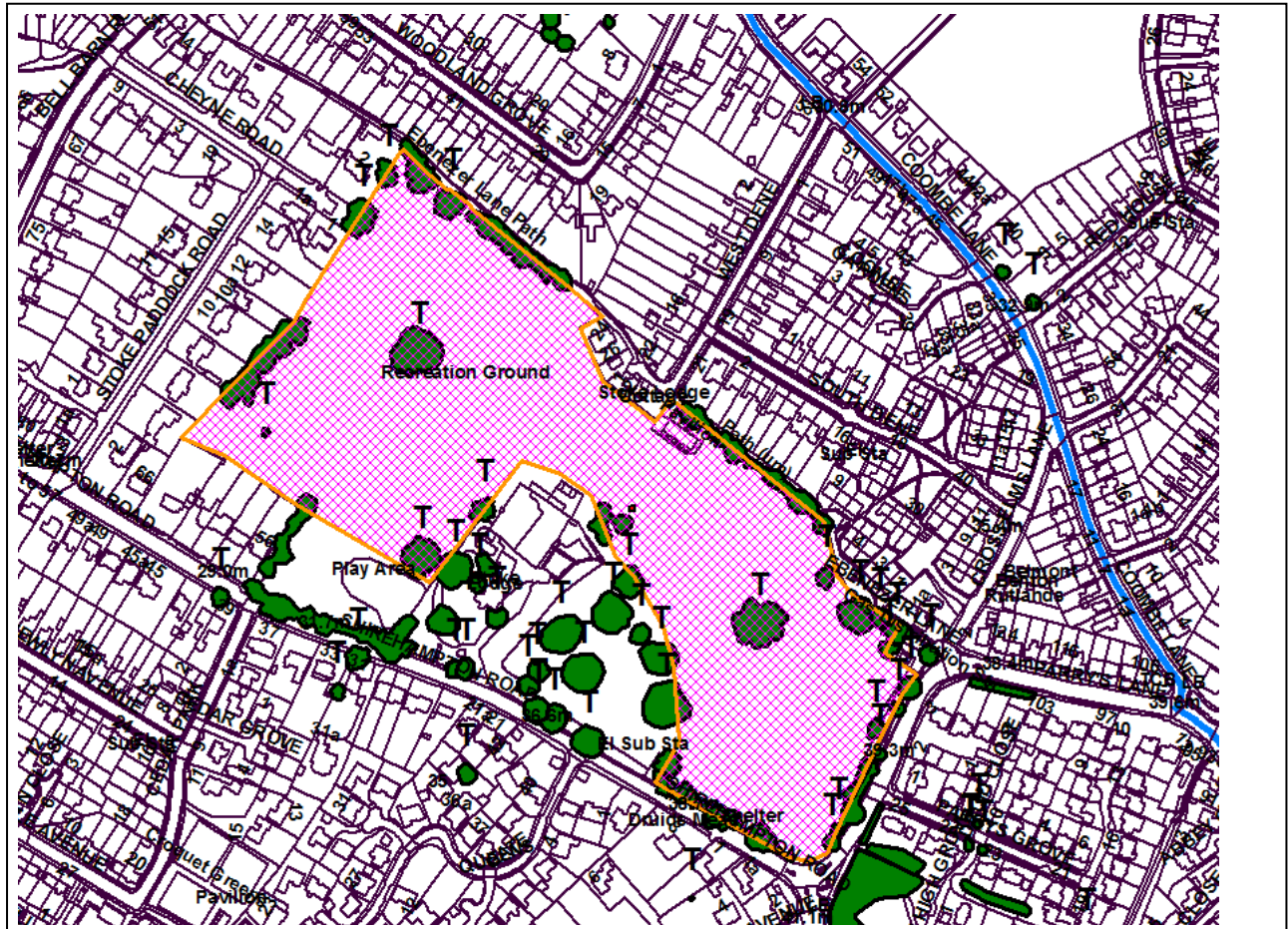
Retrospective application for installation of sign.

RECOMMENDATION: Grant subject to Condition(s)

APPLICANT: Cotham School
Stoke Lodge Playing Field
Shirehampton Road
Bristol
BS9 2BH

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee B – 19 December 2018**Application No. 18/05206/A : Stoke Lodge Playing Field Shirehampton Road Bristol BS9 2BH****SUMMARY**

This report relates to an Advertisement Consent application for a single sign that has already been installed on land known as Stoke Lodge Playing Field in the Stoke Bishop Ward of the City. The applicant is Cotham School, who have a lease to use the land from the City Council who owns the land.

This and two other signs were installed in July this year and following concerns being raised by the local community, the installation of the three signs was considered under a planning enforcement investigation (our reference 18/30326/ADV). That case was closed on 21.9.2018 with the formal determination being that two of the signs could benefit from "Deemed Consent", whilst a third if there was a desire to retain it would need advertisement consent. That case and the outcome have been subject to complaints which are being processed under our formal Corporate Complaints Procedure.

This application was submitted on 2.10.2018 and seeks retrospective advertisement consent for one of the sign. The application has attracted significant public opposition which is explained in the consultation section below. The application is being presented to Committee at the request of Councillor Abraham.

The sign has been tested against the relevant policy tests and is found to be acceptable and the recommendation below is that Advertisement Consent is granted.

THE SITE

The red line of the application site includes the playing fields which correspond to the area leased to the school. It does not include the land of the Listed Building "Stoke Lodge" or the land immediately surrounding it.

The sign is located close to an access lane into the site from Shirehampton Road

The site is not within a conservation area.

THE APPLICATION

The sign the subject of this application which has already been installed comprises of a display board measuring 1400mm wide by 800mm high and two posts which have been sunk into the ground the lower edge of the display board being 2.4m above ground level.

The display board itself is coloured blue and gold on which is a message in white writing, it is manufactured from a composite plastic, the two posts are grey powder coated metal.

The display board contains information to raise the awareness of the public on certain aspects of the lands use and access to it.

RESPONSE TO PUBLICITY AND CONSULTATION

8 Site Notices were displayed at various positions surrounding the site/land and a Press Notice was also placed.

As a consequence of this 297 objections have been received. In the main the objections are concerned with issues with the schools wider intentions for the land including proposals to install fencing, with perceived breaches of the land lease and more broadly that there are intentions to privatise the land and restrict public access.

Development Control Committee B – 19 December 2018**Application No. 18/05206/A : Stoke Lodge Playing Field Shirehampton Road Bristol BS9 2BH**

Such concerns are not material to the assessment of an Advertisement Consent application.

A number of the objections do make reference to visual amenity and the appearance of the sign and its relationship with the Listed Building on the site and also to the potential for the installation of the sign to have damaged trees.

These matters are addressed in the Assessment section of this report below.

RELEVANT POLICIES

National Planning Policy Framework – July 2018

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocations and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate) the Old Market Quarter Neighbourhood Development Plan 2016 and Lawrence Weston Neighbourhood Development Plan 2017.

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

ASSESSMENT

Members are reminded that the display of advertisements is subject to a specific consent process within the planning system. The governing Regulations advise that the relevant powers are to be exercised in the interests of 'amenity' and 'public safety', whilst taking into account the provisions of the development plan, so far as they are material and any other relevant factors.

Officers can advise that for planning purposes, an 'advertisement' is defined in section 336(1) of the Town and Country Planning Act 1990 (as amended) as:

"any word, letter, model, sign, placard, board, notice, awning, blind, device or representation, whether illuminated or not, in the nature of, and employed wholly or partly for the purposes of, advertisement, announcement or direction, and (without prejudice to the previous provisions of this definition) includes any hoarding or similar structure used or designed, or adapted for use and anything else principally used, or designed or adapted principally for use, for the display of advertisements."

The Regulations advise that factors relevant to 'amenity' include the general characteristics of the locality, including the presence of any feature of historic, architectural, cultural or similar interest. Decisions on an Advertisement consent application cannot take account of the content of the sign, such as legality or accuracy of information set out on a sign.

The statutory duty under s66(1) of the Act requiring decision makers to have special regard to preserving listed buildings and their settings only applies to the consideration of whether to grant planning permission. However, the fact that there is a nearby Listed Building is relevant to the consideration of the effect on 'amenity', in terms of appearance, features and setting.

The sign by virtue of its location within the site does not have the potential to distract drivers in any way and so in that respect will not affect public safety.

A careful assessment needs to be made in respect of amenity. The sign is relatively small and is of a size required to display the message without the writing being so small as to make it difficult to read, as such it is not harmful to the open nature of the land and whilst nearby to a Listed building does not affect its setting in any appreciable way.

In terms of the functional appearance of two supporting posts this is not considered to be unacceptable and a Council tree officer has considered the siting and concludes that the sign would

Development Control Committee B – 19 December 2018**Application No. 18/05206/A : Stoke Lodge Playing Field Shirehampton Road Bristol BS9 2BH**

not have impacted on the root system of trees on the land.

In summary and by way of conclusion the sign does not harm any aspects of amenity.

As such when undertaking the proscribed assessment there are no reasons why Advertisement consent cannot be granted.

CONCLUSION

Officers recognise that the ongoing matter of the schools use of the land and associated matters such as Town and Village Green applications, Rights of Way applications and fencing of the land have caused a great deal of consternation with the public and this is reflected in the extremely high number of commentators. However, the terms of reference for such an application as this are clear in the Regulations, i.e. that account can only be taken of the two factors explained above.

When assessing the sign against these tests it can be concluded that it is acceptable and this explains the officer recommendation.

RECOMMENDED GRANTED subject to condition(s)

1. Standard Advertisement time condition

This consent shall be restricted to a period of five years from the date of the consent.

Reason: This condition is specified by the Town and Country Planning (Control of Advertisements) (England) Regulations 2007.

2. Standard advertisement conditions

1. No advertisement is to be displayed without the permission of the owner of the site or any other person with an interest in the site entitled to grant permission.

2. No advertisement shall be sited or displayed so as to:-

(a) endanger persons using any highway, railway, waterway, dock, harbour or aerodrome (civil or military);

(b) obscure, or hinder the ready interpretation of any traffic sign, railway signal or aid to navigation by water or air; or

(c) hinder the operation of any device used for the purpose of security or surveillance or for measuring the speed of any vehicle.

3. Any advertisement displayed, and any site used for the display of advertisements, shall be maintained in a condition that does not impair the visual amenity of the site.

4. Any structure or hoarding erected or used principally for the purpose of displaying advertisements shall be maintained in a condition that does not endanger the public.

5. Where an advertisement is required under these Regulations to be removed, the site shall be left in a condition that does not endanger the public or impair visual amenity.

Reason: These conditions are specified by the Town and Country Planning (Control of Advertisements) (England) Regulations 2007.

Development Control Committee B – 19 December 2018

Application No. 18/05206/A : Stoke Lodge Playing Field Shirehampton Road Bristol BS9 2BH

List of approved plans

3. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

Block plan, received 8 October 2018

Location plan, received 8 October 2018

Cotham sign, received 8 October 2018

Reason: For the avoidance of doubt.

Supporting Documents

1. Stoke Lodge Playing Field

1. Site plan showing position of signs
2. Cotham School playing field sign
3. Photographs

Cotham School Playing Field sign

Scale 1:10 at A4



On plan 'Stoke_Lodge_Proposed_Site_Plan' marked as COTHAM_sign (Permission Sought)
Colours as above drawing (blue/gold background, white/blue text)
Sign material composite plastic
Post material Powder coated steel (colour grey)
Bottom edge of sign at 2.4m above ground
Total height of sign 3.2m
No illumination

Drawing produced for planing application 18/05206/A
ref: sign_drawing-081018



Development Control Committee B – 19 December 2018

ITEM NO. 2

WARD: Hillfields **CONTACT OFFICER:** Natalie Queffurus
SITE ADDRESS: 225 Forest Road Bristol BS16 3QX

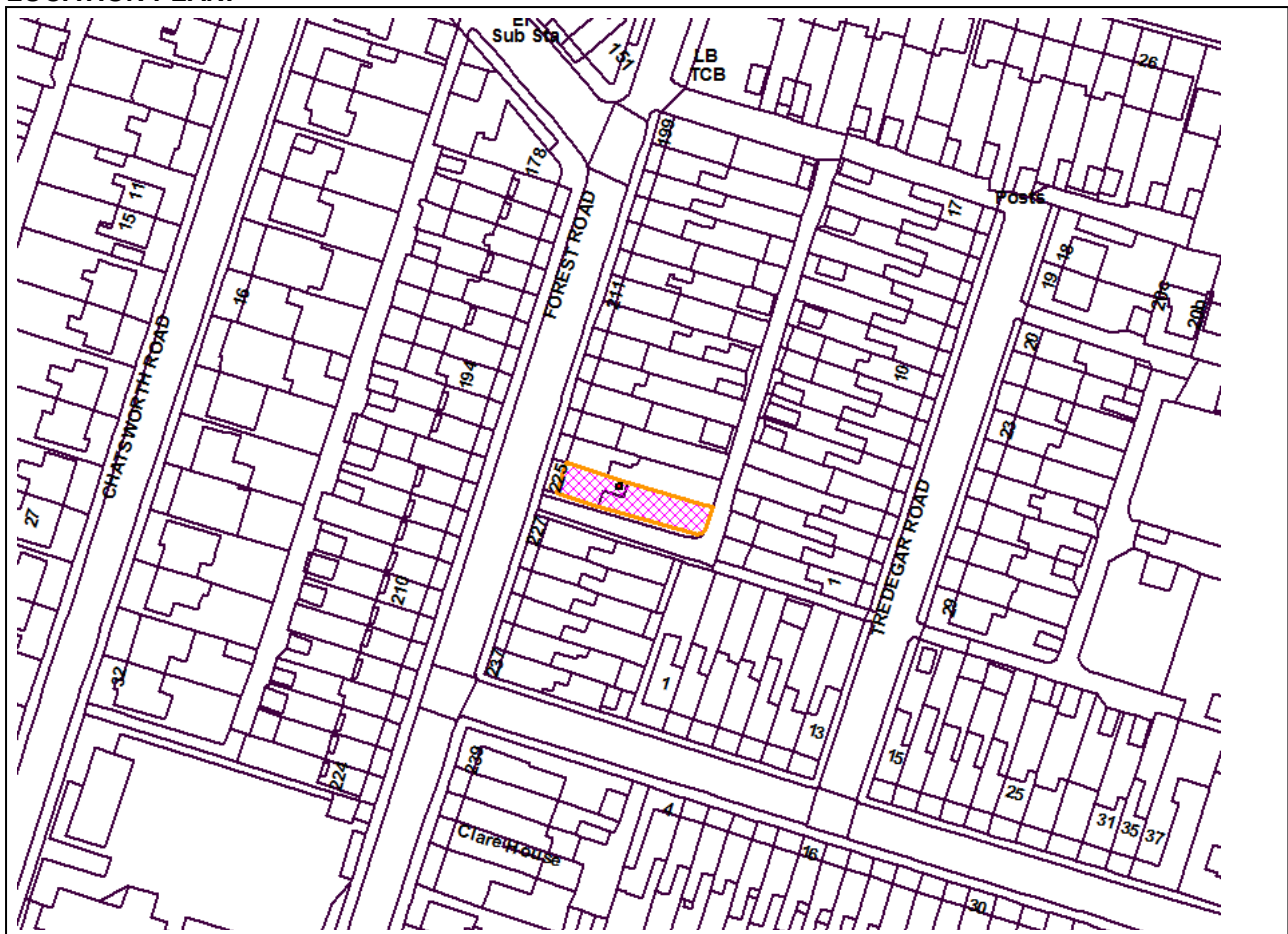
APPLICATION NO: 18/04580/F **Full Planning**
DETERMINATION DEADLINE: 20 December 2018
Conversion of an existing 2-storey 3-bedroom house into two 1-bedroom flats.

RECOMMENDATION: Refuse

| | |
|-----------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------|
| <p>AGENT: Ecomotive Unit 2 Wild Goose Space 228 Mina Road St. Werburghs Bristol BS2 9YP</p> | <p>APPLICANT: Ecomotive Unit 2 Wild Goose Space 228 Mina Road St Werburghs Bristol BS2 9YP</p> |
|-----------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------|

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee B – 19 December 2018
Application No. 18/04580/F : 225 Forest Road Bristol BS16 3QX

SUMMARY

The application site relates to a dwelling known as 225 Forest Road, located on the east side of Forest Road in Hillfields, north east Bristol.

225 Forest Road is an end of terrace, two storey, three bedroom Victorian dwelling, with a modest sized rear garden at approximately 104sqm.

The application seeks full planning permission for the conversion of the existing two storey, three bedroom single dwelling into two one bedroom flats.

The dwelling would be subdivided over its two storeys with one flat at ground floor level and one flat at first floor level. The proposed ground floor flat would be a 1 bedroom, 2 bed space dwelling with an overall gross internal floor area of approximately 44sqm, over a single storey. The first floor flat would be a 1 bedroom, 1 bed space dwelling with an overall gross internal floor area of approximately 37sqm, over a single storey.

Amenity space for the ground floor flat would be provided through a patio area and grass area (approximately 64sqm) and the first floor flat with a grass area (approximately 40sqm).

The application has received no objections from members of the public or statutory consultees but is being recommended for refusal for the reason outlined below and therefore is being presented to committee in accordance with Councillor Cheney's referral.

Key issues in the report concern the principle of development, amenity for future occupiers, impact on neighbouring amenity and transport.

The site lies within an existing sustainable residential area and therefore the principle of development is considered to be acceptable.

However, the application proposes two flats and neither would meet the technical space standards set out in The UK Government's Technical housing standards – nationally described space standard (March 2015) ('housing space standards').

The ground floor flat which is proposed to be a 1 bedroom, 2 bed space dwelling, over a single storey would not meet the required technical space standard for this type of dwelling (50sqm) with a proposed gross internal floor area of approximately 44sqm (when discounting the internal staircase which would not contribute to the ground floor flat's internal floor area).

The first floor flat which is proposed to be 1 bedroom, 1 bed space dwelling, over a single storey with a bathroom would not meet the required technical space standard for this type of dwelling (39sqm) with a proposed gross internal floor area of approximately 37sqm (when discounting the staircase landing which would not contribute to the first floor flat's internal floor area).

It is therefore considered that the proposed flats would fail to provide sufficient space for everyday activities and space which would be flexible and adaptable, by meeting appropriate technical space standards, contrary to Policies BCS15, BCS18 and BCS21.

The proposed development would create an unacceptable standard of amenity for future occupiers that would not be outweighed by the modest benefits of one additional dwelling. The application is recommended for refusal for the reason detailed in this Report.

Development Control Committee B – 19 December 2018
Application No. 18/04580/F : 225 Forest Road Bristol BS16 3QX

SITE DESCRIPTION

The application site relates to a dwelling known as 225 Forest Road, located on the east side of Forest Road in Hillfields, north east Bristol.

225 Forest Road is an end of terrace, two storey, three bedroom Victorian dwelling, with a modest sized rear garden at approximately 104sqm. The majority of the dwelling is arranged over its two main storeys but it also has a single storey, flat roof extension to the rear.

Pedestrian access to the dwelling is directly off Forest Road, the existing dwelling also has an opening in its perimeter wall at the rear of the garden which allows for a gate providing vehicular access to the garden and an informal parking area.

The site's boundaries are defined by an informal service lane to its south and east providing access to the rear gardens and garages of properties fronting onto Forest Road, Tredegar Road and Chewton, to the west by Forest Road and to the north by 223 Forest Road and the other properties fronting onto Forest Road.

The surrounding area is residential, comprising two storey terraced houses of a varied appearance, many of which include single storey ancillary buildings / garages in their rear gardens.

The site is considered to be in a sustainable location, within walking distance of a number of community amenities including Lodge Causeway district centre and protected open space.

The site is not located within a Conservation Area, although is located within a High Risk Coal Mining Area. It is subject to no other allocations or designations in the Local Plan.

RELEVANT HISTORY

17/05914/PREAPP - Conversion of 3-bedroom end-of-terrace house into two apartments and the development of the plot with the additional of a 1-bedroom, SNUG Home. Advice provided, 12 December 2017.

18/01710/F – Conversion of an existing 2-storey 3-bedroom house into two 1-bedroom flats. Withdrawn following Officers concerns, 20 August 2018.

18/01731/F – 1x bedroom, two-storey dwelling in the rear garden of the existing house, and the associated external works and boundary treatments. Withdrawn following Officers concerns, 20 August 2018.

18/04579/F – Proposed construction of a new 1no. bedroom, two-storey residential dwelling in the rear garden of the existing house at 225 Forest Road and the associated external works and boundary treatments. Pending consideration.

Development Control Committee B – 19 December 2018
Application No. 18/04580/F : 225 Forest Road Bristol BS16 3QX

THE APPLICATION

The application seeks full planning permission for the conversion of the existing two storey, three bedroom single dwelling into two one bedroom flats.

The dwelling would be subdivided over its two storeys with one flat at ground floor level and one flat at first floor level. The proposed ground floor flat would be a one bedroom, two person (2 bed space) dwelling with an overall gross internal floor area of approximately 44sqm, over a single storey.

The first floor flat would be a one bedroom, single person (1 bed space) dwelling with an overall gross internal floor area of approximately 37sqm, over a single storey.

Access to both flats would be via the existing main front door and two internal front doors off the existing internal staircase. No external alterations to 225 Forest Road are proposed as part of the application.

Amenity space for the ground floor flat would be provided through a patio area and grass area (approximately 64sqm) and the first floor flat with a grass area (approximately 40sqm). Both flats would also share a small section of the garden for their shared bike store and bin store for the first floor flat. The ground floor flat's bin store would be located at the front of the property as per the existing arrangements.

The proposals would retain the existing half-height red brick boundary wall however would incorporate a number of gates to enable access to the amenity space and associated bike and bin stores.

No vehicular access is proposed to the site.

RESPONSE TO PUBLICITY AND CONSULTATION

GENERAL RESPONSE FROM PUBLIC

Letters were sent to neighbouring properties, no responses were received from members of the public.

COMMENTS FROM COUNCILLORS

Councillor Craig Cheney – Neutral

The application has been referred to committee by Councillor Craig Cheney, who wished the application to be determined by committee if the officer recommendation was for refusal. Councillor Cheney's reason is as follows:

The current housing policy on one person one bedroom homes is now inconsistent with the existing demand in the city. There needs to be greater clarity on minimum space standards to align the Bristol policy with the most recent national standards, and we need to consider this planning application in relation to national space standards and the need for one person one bedroom properties.

COMMENTS FROM INTERNAL CONSULTEES

City Design Group – No objection

Development Control Committee B – 19 December 2018
Application No. 18/04580/F : 225 Forest Road Bristol BS16 3QX

Separate and designated amenity spaces should be provided for the dwellings. The shared space cannot be controlled and is likely to be underused not serving, further limiting the amount of amenity space.

Note: The original proposals for application included shared grass amenity space between the proposed flats. However, following feedback from the Council revised plans were submitted to subdivide the amenity space between the two proposed flats.

Transport Development Management – No objection

The application would see the existing dwelling converted into flats with access to the rear. The application does not provide any off-street car parking spaces. However the applicant has made provision for a bike store to the rear of the property. The applicant will need to make sure that this is secure (lockable). It is noted that the bin storage has been split to the front and rear of the property. There is no objection in principle to this arrangement provided it is in the designated distance for pedestrians to carry waste to the site.

Having carried out a desktop study of the local area it is apparent that the nearest bus stop is over 900m from the site this provides access to the number 6 service which has a frequency of every 30mins to the site. However there does appear to be on-street parking in the location. As such one additional car associated with the subdivision is unlikely to result in a severe impact.

RELEVANT POLICIES

National Planning Policy Framework – July 2018

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocations and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate).

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

KEY ISSUES

A) IS THE PROPOSED DEVELOPMENT ACCEPTABLE IN PRINCIPLE?

Policy BCS5 sets out that the Core Strategy aims to deliver new homes within Bristol's existing built up areas. Between 2006 and 2026, 30,600 new homes will be provided in Bristol.

The site is not allocated for any particular land use in the Local Plan. The site lies within an existing residential area, it is considered to be a sustainable location with access to public transport and within walking distance of a district centre at Lodge Causeway.

The proposed development would contribute to the delivery of new homes as outlined in Policy BCS5 and would add to the mix of accommodation in this area. Therefore it is considered that the principle of residential development in this location is acceptable in accordance with Policy BCS5.

Development Control Committee B – 19 December 2018
Application No. 18/04580/F : 225 Forest Road Bristol BS16 3QX

B) WOULD THE PROPOSED DEVELOPMENT CREATE AN ACCEPTABLE STANDARD OF AMENITY FOR FUTURE OCCUPIERS?

The adopted Bristol Core Strategy Policy BCS15 outlines that sustainable design and construction will be integral to new development in Bristol. In delivering sustainable design and construction, development should ensure flexibility and adaptability, allowing future modification of use or layout, facilitating future refurbishment and retrofitting.

Policy BCS18 makes specific reference to residential developments providing sufficient space for everyday activities and space which should be flexible and adaptable, by meeting appropriate space standards. The Core Strategy states that building to suitable space standards will ensure new homes provide sufficient space for everyday activities.

Policy BCS21 further outlines that development in Bristol is expected to safeguard the amenity of existing development and create a high-quality environment for future occupiers.

The Core Strategy is supported by the Bristol City Council Space Standards Practice Note which outlines that the Council has established the principle of applying The UK Government's Technical housing standards – nationally described space standard (March 2015) ('housing space standards') to new residential development through the Bristol Development Framework.

The Note outlines that the provision of sufficient living space within new homes is an important element of good housing design and a pre-requisite for basic living. Potential residents of new homes should be provided with sufficient space for basic daily activities and needs.

The Note further acknowledges that whilst the Nationally Described Space Standards include standards for 1 bed space units, it states that it is expected that new dwellings will provide at least 2 bed spaces. This is the smallest unit size that could meet the flexibility and adaptability requirements of Policies BCS15, BCS18 and BCS21 i.e. accommodate sufficient space for a partner, a child, temporary carer or visiting friends or relatives.

With reference to the Core Strategy, Practice Note and in accordance with the UK Government's Nationally Described Space Standards the technical standards outline that a 1 bedroom, 2 bed space dwelling over a single storey should have a gross internal floor area of 50sqm and a 1 bedroom, 1 bed space dwelling over a single storey should have a gross internal floor area of 39sqm or 37sqm (where the dwelling has a shower room instead of bathroom).

With reference to the above technical space standards, it is considered that the ground floor flat which is proposed to be a 1 bedroom, 2 bed space dwelling, over a single storey would not meet the required technical standard (50sqm) with a proposed gross internal floor area of approximately 44sqm (when discounting the internal staircase which would not contribute to the ground floor flat's internal floor area).

With reference to the technical space standards, it is also considered that the first floor flat which is proposed to be 1 bedroom, 1 bed space dwelling, over a single storey with a bathroom would not meet the required technical standard (39sqm) with a proposed gross internal floor area of approximately 37sqm (when discounting the staircase landing which would not contribute to the first floor flat's internal floor area).

Furthermore, with specific reference to the Bristol Core Strategy and Space Standards Practice Note, Bristol City Council expects that all new dwellings provide at least 2 bed spaces. It is considered that a 1 bed space dwelling such as the one proposed for the first floor flat could not sufficiently

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accommodate space for a partner, a child, temporary carer or visiting friends or relatives and therefore it does not meet the flexibility and adaptability requirements of the Core Strategy.

Overall, neither the ground floor flat nor the first floor flat would meet the technical standards for proposed 1 bedroom, 1 bed space and 2 bed space dwellings over a single storey. Therefore, it is considered that the proposed flats would fail to provide sufficient space for everyday activities and space which would be flexible and adaptable, by meeting appropriate space standards, contrary to Policies BCS15, BCS18 and BCS21.

C) WOULD THE PROPOSED DEVELOPMENT BE ACCEPTABLE ON NEIGHBOURING AMENITY?

Policy DM2 states that proposal for residential sub division, shared or specialist housing will not be permitted where the development would harm the residential amenity or character of the locality as a result of any of the following:

- Levels of activity that cause excessive noise and disturbance to residents; or
- Levels of on-street parking that cannot be reasonably accommodated or regulated through parking control measures; or
- Cumulative detrimental impact of physical alterations to buildings and structures; or
- Inadequate storage for recycling/refuse and cycles.

The development would create or contribute to a harmful concentration of such uses within a locality as a result of any of the following:

- Exacerbating existing harmful conditions including those listed at (i) above; or
- Reducing the choice of homes in the area by changing the housing mix.

The existing use of the site is a single residential dwelling. The proposed development is a subdivision of the house to create two self-contained flats with no external alterations proposed. It is considered that this sub-division would not result any unacceptable impacts on neighbouring amenity in accordance with Policy DM2.

D) WOULD THE PROPOSED DEVELOPMENT SATISFACTORILY ADDRESS TRANSPORT AND MOVEMENT ISSUES?

Policy BCS10 requires that development should be designed and located to ensure that provision of safe streets. It outlines that development should create places and streets where traffic and other activities are integrated.

Policy DM23 states that development should not give rise to unacceptable traffic condition and proposals for parking, servicing and loading should make effective and efficient use of land.

The proposed development is situated within an established residential area within walking distance to public transport and local amenities.

The proposed development does not propose any on-site parking. Consultation with Transport Development Management confirmed that the lack of onsite vehicular parking provision in this location was acceptable.

The proposed development includes shared secure, covered cycle parking for 4no. bikes for the two flats. The amount of cycle parking spaces is acceptable in accordance with Appendix 2 of the Bristol Local Plan Site Allocations and Development Management Policies.

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Policy DM32 states that all new residential development will be expected to provide sufficient space for the storage of individual (and if appropriate communal) recycling and refuse containers. Two bin store and recycling areas are proposed as part of this application, one for the ground floor flat at the front of the property and one for the first floor flat at the rear of the property. Both stores meet the Council's requirements, however Transport Development Management have requested that the stores are within in the designated distance for pedestrians to carry waste to the site.

The proposed development is therefore considered to accord with Policies BCS10, DM23 and DM32.

CONCLUSION

Whilst the principle of residential development is acceptable at the site and the dwelling would be located in a sustainable location, it is considered that the proposed development would create an unacceptable standard of amenity for future occupiers that would not be outweighed by the modest benefits of one additional dwelling.

Neither the proposed ground floor flat nor the first floor flat would meet the technical standards for proposed 1 bedroom, 1 bed space and 2 bed space dwellings over a single storey. Therefore, it is considered that the proposed flats would fail to provide sufficient space for everyday activities and space which would be flexible and adaptable, contrary to Policies BCS15, BCS18 and BCS21.

Therefore, having carefully considered the policy context and technical standards, the application is recommended for refusal for the reason detailed below.

COMMUNITY INFRASTRUCTURE LEVY

How much Community Infrastructure Levy (CIL) will this development be required to pay?

As a residential sub-division with no increase floor area the proposal is exempt from CIL.

RECOMMENDATION REFUSE

The following reason(s) for refusal are associated with this decision.

Reason(s)

1. By virtue of proposed flats' scale and gross internal floor area, future occupiers would experience an unacceptable standard of amenity. The proposed ground floor flat would not meet the technical standard for a 1 bedroom, 2 bed space dwelling over a single storey and the proposed first floor flat would not meet the technical standard for a 1 bedroom, 1 bed space dwelling with a bathroom over a single storey. The proposals are therefore contrary to Policies BCS15, BCS18 and BCS21 of the Bristol Core Strategy (2011).

OTHER MATTERS

As indicated in the relevant history section of this Report, Members should be aware that there is currently another live planning application (ref. 18/04580/F) for this site, for the proposed construction of a new 1no. bedroom, two storey residential dwelling (also known as a 'SNUG home') in the rear garden of the existing property known as 225 Forest Road and associated external works and boundary treatments.

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This other application, like this one before Members presented within this Report, has also been recommended for refusal on the following grounds.

1. By virtue of the proposed development's scale, location and gross internal floor space, future occupiers would experience an unacceptable standard of amenity. The proposed 1 bed space dwelling would not achieve the flexibility and adaptability requirements for new dwellings in Bristol and the proposed external amenity space would be limited and of a poor quality. The proposals are therefore contrary to Policies BCS15, BCS18 and BCS21 of the Bristol Core Strategy (2011).
2. By virtue of the proposed development's location, scale and siting, the proposals would not respond appropriately to the local character or grain of development. The two storey elevation would not be in keeping in this back land location. The proposals are therefore contrary to Policies BSC21 of the Bristol Core Strategy (2011) and Policies DM21, DM26, DM27 and DM29 of the Bristol Site Allocations and Development Management Plan (2014).

As is required, each application has been assessed on its own merits and therefore the recommended reason(s) for refusal for each application relate specifically to the proposals contained within each application.

However, given that both applications are live and to be considered by Members at the same committee, Officers felt it pertinent to outline the Council's further concerns about the potential cumulative impact at the site if both applications were to be approved contrary to Officer recommendation.

Primarily these concerns relate to the overdevelopment of the application site. Officers are concerned that if both applications are approved the developments in combination would result in disturbance to existing residents and the overdevelopment of the plot. The two permissions would result in the provision of 3 dwellings within a plot that currently serves 1 dwelling. Taking into consideration the context of the surrounding area, where the majority of dwellings remain in single dwelling occupancy, it is considered that this would result in over intensification and overdevelopment of the plot that would be inappropriate in this location and could cause harm to the amenity of neighbouring dwellings and the character of the area.

Another concern raised about the potential subdivision of the existing 225 Forest Road in tandem with the proposed development of the SNUG home, is that this subdivision of the existing dwelling and garden, in addition to the proposals for the SNUG home in the rear garden, would see the existing external amenity space at 225 Forest Road significantly altered and the proposed amenity space for the proposed flats compromised.

Whilst in this scenario both flats would still have their own private amenity space, the amenity space for each flat would be significantly smaller than that proposed through this application (approximately 21sqm for the ground floor flat and approximately 18sqm for the first floor flat) and any other private amenity space provision for the surrounding terraces. The amenity space for the ground floor flat would also be awkwardly subdivided and accessed due to the need for the shared space between the ground floor flat patio area and grass area, for the shared bike store and bin store for the first floor flat.

It is therefore further considered that if both applications were granted planning permission, the applications in combination would fail to create a high quality environment for future occupiers.

Officers considered it important context to outline these wider concerns for the application site.

Development Control Committee B – 19 December 2018
Application No. 18/04580/F : 225 Forest Road Bristol BS16 3QX

Advice(s)

1. Refused Applications Deposited Plans/Documents

The plans that were formally considered as part of the above application are as follows –

Site Location Plan

AR-01 Site Boundary Plan

AR-11 Site Plan – Proposed Coloured / Roof Plan (No SNUG home)

566 – 0000 Proposed Ground Floor Plan – 1 Bed Flat with Home Office

566 – 04 Proposed First Floor Plan

566 – 05 Proposed Roof Plan

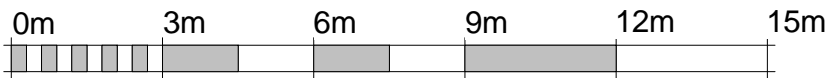
Supporting Documents

2. 225 Forest Road

1. Site boundary plan
2. Proposed ground floor plan
3. Proposed first floor plan
4. Proposed amenity plan



Site Boundary



Planning

Project
225 Forest Road, Bristol

Drawing Title
Site Boundary Plan

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| Date | Scale | Drawn by | Check by |
| 09/13/17 | 1 : 150 @ A1 1 : 300 @ A3 | EH | AD |
| Project No | Drawing No | Revision | |
| 27007 | AR-01 | | |



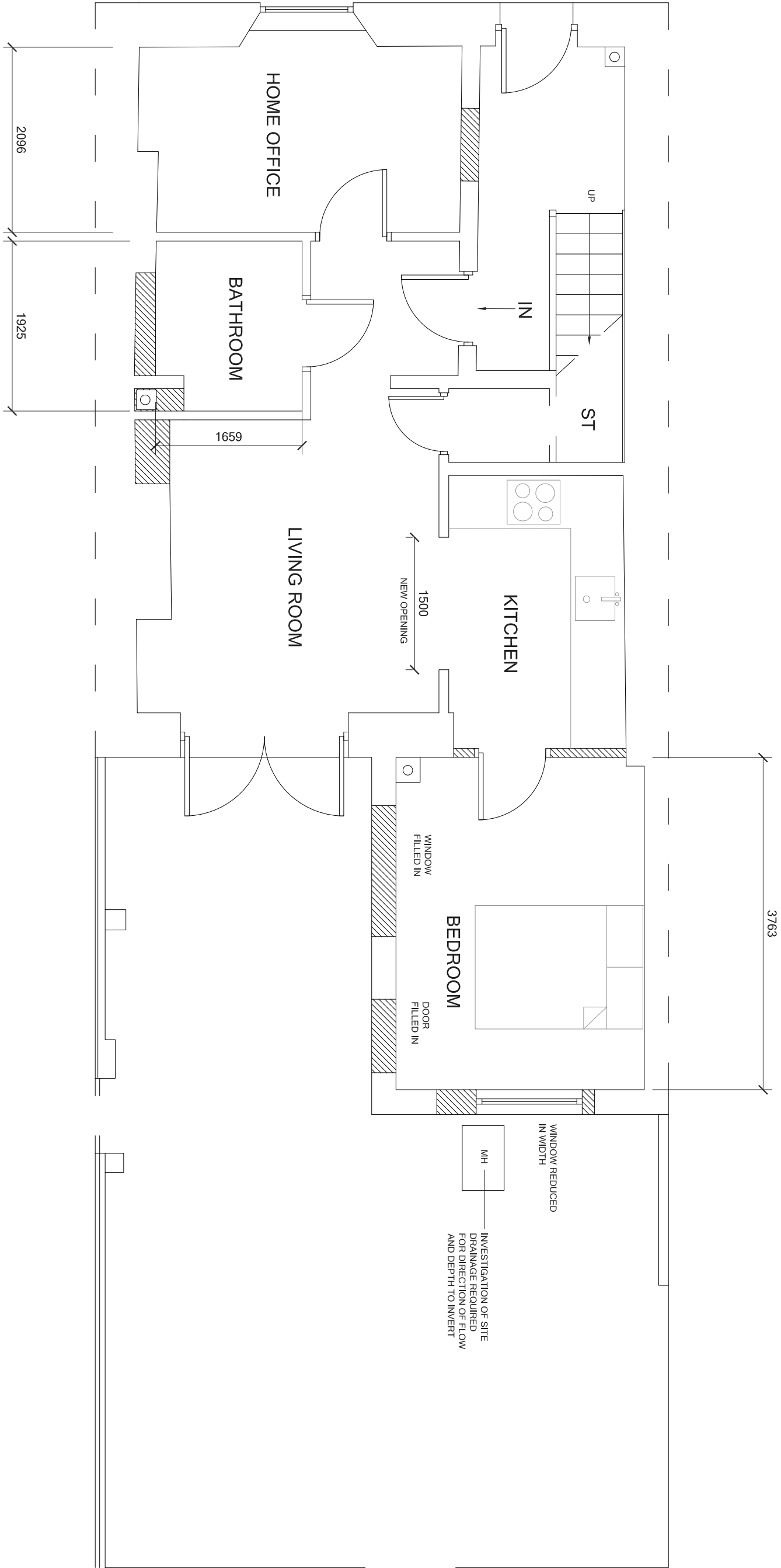
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Project Name:
225 Forest Road

Drawing Title:

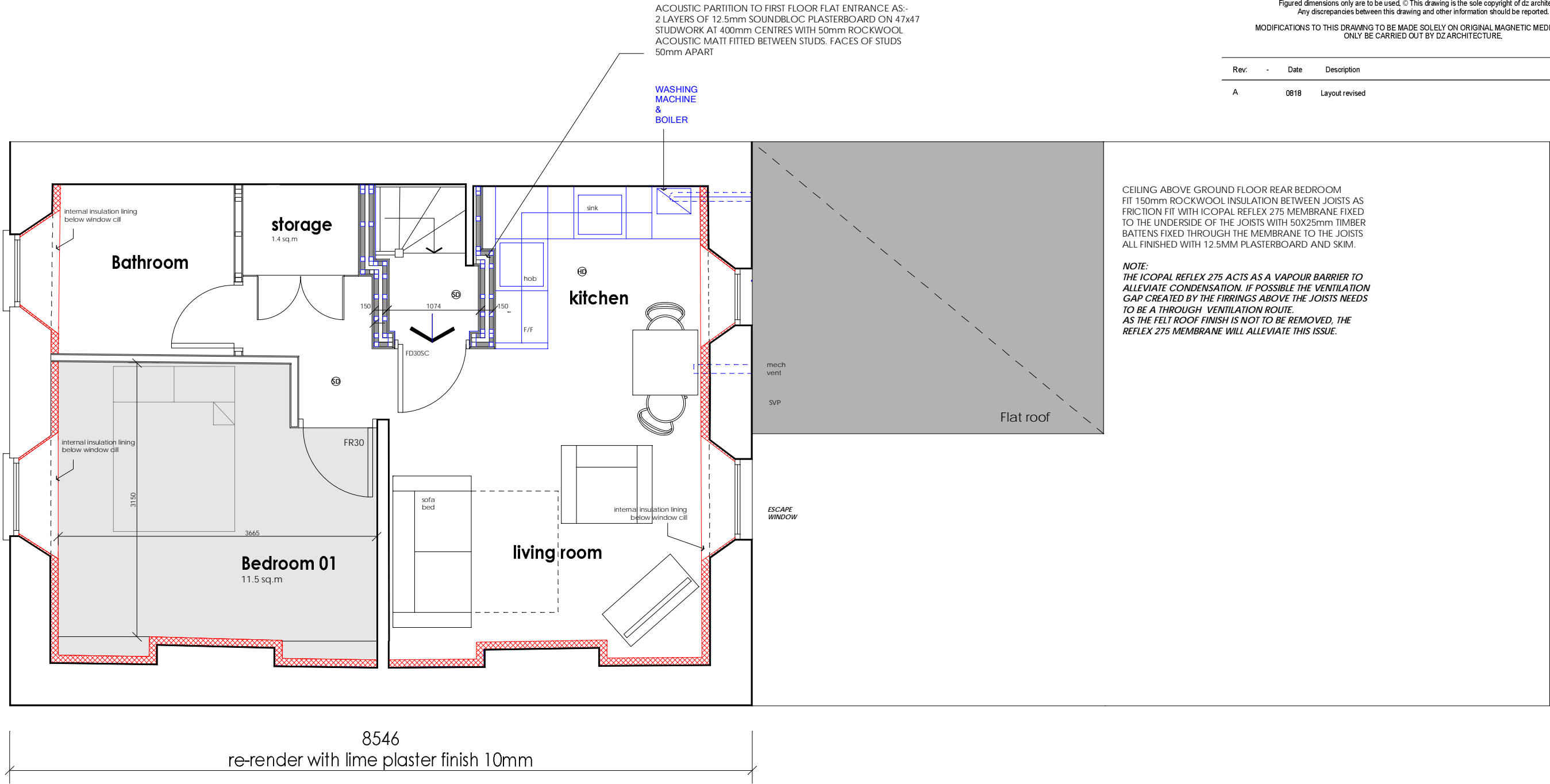
Proposed Ground Floor Plan - 1 Bed Flat with Home Office - A

Project No: Drawing No: Revision:

566 0000

Drawing Status: Date: Scale: Drawn: Reviewed:

DRAFT July 17 1:50@A3 rp sd



GROUND FLOOR

22mm FLOORING GRADE BOARD OVER MULTIFOIL SF19 FIXED ACROSS AND BETWEEN JOISTS - JOINTS TAPED AND EDGES LAPPED ON TO PLASTER FINISH. MAINTAIN BELOW FLOOR VENTILATION THROUGH THE EXISTING AIR BRICK VENTS AND EXPOSE OTHERS WHERE POSSIBLE TO THE LIVING ROOM TIMBER SUB FLOOR.

PARTITIONS

PARTITION STUDWORK BETWEEN HABITABLE ROOMS AS 12.5mm SOUNDBLOC PLASTERBOARD ON 75x50 STUDWORK AT 400mm CENTRES WITH 50mm ROCKWOOL ACOUSTIC MATT FITTED BETWEEN STUDS.

STORAGE PARTITIONS AS ABOVE BUT USE GYPROC WALLBOARD ONLY.

ACOUSTIC PARTITION TO FIRST FLOOR FLAT ENTRANCE AS:- 2 LAYERS OF 12.55mm SOUNDBLOC PLASTERBOARD ON 47x47 STUDWORK AT 450mm CENTRES WITH 50mm ROCKWOOL ACOUSTIC MATT FITTED BETWEEN STUDS. FACES OF STUDS 50mm APART

ACOUSTIC LINING TO PARTY WALLS

2 LAYERS 12.5mm SOUNDBLOC BOARD ON 50x50 STUDWORK AT 450mm CENTRES WITH 50mm ROCKWOOL ACOUSTIC MATT FITTED BETWEEN STUDS - 25mm AIR GAP BETWEEN STUDS AND EXISTING WALLS.

ROOF
TILES - AS EXISTING ON 25 x 38mm TANALISED S/W COUNTERBATTENS ON REINFORCED SARKING FELT ALL AT A PITCH TO MATCH THE EXISTING.

ROOF STRUCTURE
AS EXISTING - REPLACE WITH IDENTICAL IF NECESSARY

ROOF INSULATION
REFER TO SEPARATE U VALUE CALCULATION SHEETS

CEILING IN FIRST FLOOR FLAT OT FOLLOW ROOF PITCH

REFER TO U VALUE CALCULATION SHEET

VENTILATION
ALL WINDOWS TO INCORPORATE BACKGROUND VENTILATION EQUAL TO 8000 CUBIC mm, ALL AS TRICKLE VENTS WITHIN THE WINDOW HEADS. ROOF VENTILATION AT EAVES AS CONTINUOUS STRIP 10mm WIDE WITH CONTINUOUS 5mm STRIP AT THE TOP OF THE ROOF.

INTERMITTENT MECHANICAL FAN WITH 15 MIN OVERRUN AND EXTRACT RATE OF 30l/ SEC

KITCHEN TO BE MECHANICALLY VENTILATED VIA COOKER HOOD TO GIVE MIN 30l/sec AIR CHANGE AND BATHROOM TO GIVE 15l/sec AIR CHANGE WITH 15 MINUTE OVERRUN AND 10mm AIR GAP BELOW DOORS.

NEW ABOVE GROUND DRAINAGE TO CONNECT INTO EXISTING BELOW GROUND DRAINAGE SYSTEM. ABOVE GROUND DRAINAGE TO CONSIST OF 150mm DIAMETER SVP WITH THE FOLLOWING BRANCH SIZES ALL WITH 75mm DEEP SEAL TRAPS:

WC 100mm dia
BASIN 32mm dia
BATH, SINK, SHOWER 38mm dia.
SVP TO BE TAKEN THROUGH THE ROOF WITH CODE 4 LEAD SLATE AND COWL - CONSULT LABC

ALL SANITARY PIPEWORK TO BE IN ACCORDANCE WITH PART H, TABLE 2 & 3 OF THE BUILDING REGULATIONS AND BS 5572.

ALL PIPEWORK TO BE HEP V 0 SYSTEM BY HEPWORTH OR SIMILAR APPROVED

100% OF LIGHT FITTINGS TO BE LED

ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH PART P OF THE BUILDING REGULATIONS AND MUST BE DESIGNED AND INSTALLED AND TESTED BY A QUALIFIED ELECTRICIAN ALL IN ACCORDANCE WITH BS7671.

NOTE
GAS CENTRAL HEATING THROUGHOUT BY CONVECTOR RADIATORS. WITH BATHROOM TOWEL RAILS.
BOILERS AS VAILANT ecoFIT SUSTAIN COMBI BOILER OR SIMILAR APPROVED

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| A | | 0818 | Layout revised | - |

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Project Name:

225 Forest Road

Drawing Title:

Proposed First Floor Plan

Project No:

566

Drawing No:

04

Revision:

A

Drawing Status:

PLANNING REGULATIONS

Date:

Apr 18

Scale:

1:50@A3

Drawn:

sd

Reviewed:

sd



Page 50



Planning

Project
225 Forest Road, Bristol



Drawing Title
Site Plan - Proposed (no SNUG)
Coloured/ Roof Plan

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Development Control Committee B – 19 December 2018

ITEM NO. 3

WARD: Hillfields **CONTACT OFFICER:** Natalie Queffurus

SITE ADDRESS: 225 Forest Road Bristol BS16 3QX

APPLICATION NO: 18/04579/F Full Planning

DETERMINATION DEADLINE: 20 December 2018

Proposed construction of a new 1no. bedroom, two-storey residential dwelling in the rear garden of the existing house at 225 Forest Road and the associated external works and boundary treatments.

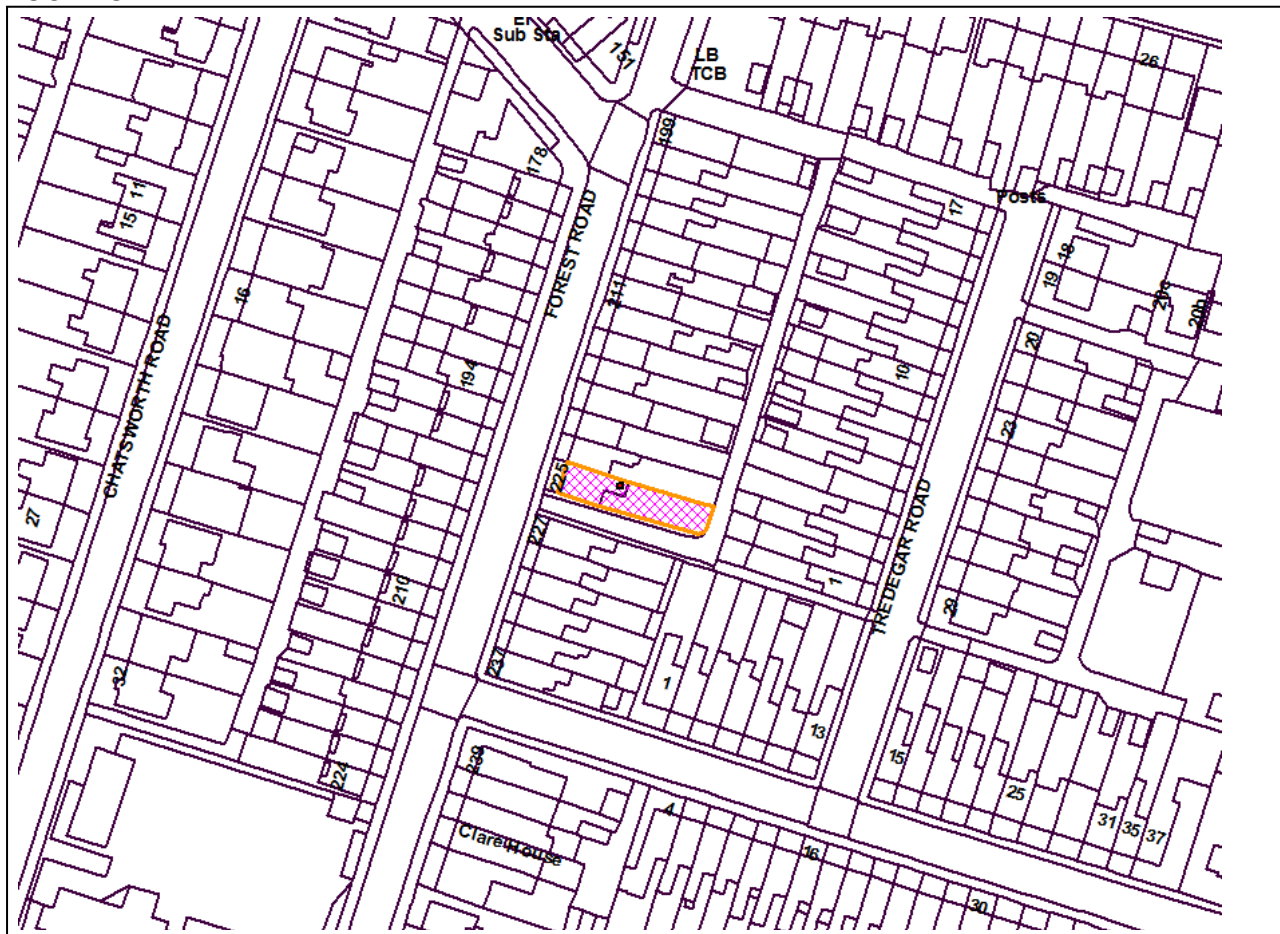
RECOMMENDATION: Refuse

AGENT: Ecomotive
Unit 2 Wild Goose Space
228 Mina Road
St. Werburghs
Bristol
BS2 9YP

APPLICANT: Mr Dutton
Unit 2 Wild Goose Space

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee B – 19 December 2018
Application No. 18/04579/F : 225 Forest Road Bristol BS16 3QX

SUMMARY

The application site relates to the rear garden of a property known as 225 Forest Road, located on the east side of Forest Road in Hillfields, north east Bristol.

225 Forest Road is an end of terrace, two storey, Victorian dwelling, with a modest sized rear garden at approximately 104sqm. The surrounding area is residential, comprising two storey terraced houses of a varied appearance, many of which include single storey ancillary buildings / garages in their rear gardens.

The application seeks full planning permission for the proposed construction of a new 1no. bedroom, two storey residential dwelling (also known as a 'SNUG home') in the rear garden of the existing house known as 225 Forest Road and associated external works and boundary treatments.

The proposed dwelling would be located at the rear of the existing garden of 225 Forest Road. The dwelling itself is proposed to be a two storey, 1 bedroom, 1 bed space dwelling with an overall gross internal floor area of approximately 41sqm, divided over its two storeys. The dwelling would be 6.25m in height and adopt a modern box / SNUG home design with a flat roof.

Amenity space would be provided through a small patio area (approximately 8sqm) to the rear of the proposed dwelling and an area of grass (approximately 21sqm) achieved through the subdivision of the existing garden at 225 Forest Road.

The application has received no objections from members of the public, however has received an objection from the Council's City Design Group. The application is also recommended for refusal for the reasons outlined below and therefore is being presented to committee in accordance with Councillor Cheney's referral.

Key issues in the report concern the principle of development, amenity for future occupiers, harm to the character and appearance of the area, neighbouring amenity, transport, coal mining risk and sustainable design and construction.

The ambition of the Applicant, their innovative approach to potential housing solutions, the principle of residential development at the site, and its sustainability credentials are acknowledged.

However, the application proposes a new dwelling that would only meet the technical space standards set out in The UK Government's Technical housing standards – nationally described space standard (March 2015) ('housing space standards'), for a 1 bed space dwelling over its two storeys.

The 1 bed space dwelling would also not meet the flexibility and adaptability requirements of Policies BCS15, BCS18 and BCS21. This application could not sufficiently accommodate space for a partner, a child, temporary carer or visiting friends or relatives and the adaptability requirements of the Core Strategy.

The proposed dwelling would also be located within the rear garden of 225 Forest Road and therefore with the addition of the SNUG home, plus the subdivision of the garden to retain some amenity space for the existing 225 Forest Road, the proposed amenity space for the proposed dwelling would be limited and of a poor quality.

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Application No. 18/04579/F : 225 Forest Road Bristol BS16 3QX

The proposed development would constitute overdevelopment of a small back land plot and its two storey form would be out of character within its rear garden location which is defined by single storey outbuildings/garages.

The proposed development would create an unacceptable standard of amenity for future occupiers and would not respond appropriately to the local character or grain of development. The application is recommended for refusal for the reason(s) detailed in this Report.

SITE DESCRIPTION

The application site relates to the rear garden of a property known as 225 Forest Road, located on the east side of Forest Road in Hillfields, north east Bristol.

225 Forest Road is an end of terrace, two storey, Victorian dwelling, with a modest sized rear garden at approximately 104sqm. The existing garden is subdivided into three distinct sections including an area of paving, area of grass and an area of hardstanding for parking. The perimeter of the site is characterised by a half-height red brick wall with a timber lattice providing privacy screens. There is an opening in the perimeter wall at the rear of the garden which allows for a gate providing vehicular access to the garden and the parking area.

The site's boundaries are defined by an informal service lane to its south and east providing access to the rear gardens and garages of properties fronting onto Forest Road, Tredegar Road and Chewton, to the west by the existing 225 Forest Road and to the north by the rear garden of 223 Forest Road and the rear gardens of other properties fronting onto Forest Road.

The surrounding area is residential, comprising two storey terraced houses of a varied appearance, many of which include single storey ancillary buildings / garages in their rear gardens.

The site is considered to be in a sustainable location, within walking distance of a number of community amenities including Lodge Causeway district centre and protected open space.

The site is not located within a Conservation Area, although is located within a High Risk Coal Mining Area. It is subject to no other allocations or designations in the Local Plan.

RELEVANT HISTORY

17/05914/PREAPP - Conversion of 3-bedroom end-of-terrace house into two apartments and the development of the plot with the additional of a 1-bedroom, SNUG Home. Advice provided, 12 December 2017.

18/01731/F – 1x bedroom, two-storey dwelling in the rear garden of the existing house, and the associated external works and boundary treatments. Withdrawn following Officers concerns, 20 August 2018.

18/01710/F – Conversion of an existing 2-storey 3-bedroom house into two 1-bedroom flats. Withdrawn following Officers concerns, 20 August 2018.

18/04580/F - Conversion of an existing 2-storey 3-bedroom house into two 1-bedroom flats. Pending Consideration.

Development Control Committee B – 19 December 2018
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THE APPLICATION

The application seeks full planning permission for the proposed construction of a new 1no. bedroom, two storey residential dwelling (also known as a 'SNUG home') in the rear garden of the existing house known as 225 Forest Road and associated external works and boundary treatments.

The proposed dwelling would be located at the rear of the existing garden of 225 Forest Road. The dwelling would be set back approximately 2m from the garden's rear wall and approximately 0.7m from the boundary wall with 223 Forest Road. The dwelling would also be located approximately 10m from the nearest habitable room of the existing 225 Forest Road and its side elevation would front directly onto the service lane at the site's southern boundary.

The dwelling itself is proposed to be a two storey, single person (1 bed space) dwelling with an overall gross internal floor area of approximately 41sqm, divided over two storeys. The dwelling would be 6.25m in height and adopt a modern box / SNUG home design with a flat roof. The front elevation, fronting onto 225 Forest Road, would include the front door, a vertical strip stairwell window from ground to first floor and a horizontal strip obscured glass window at first floor level. The rear elevation would include bifold doors at ground floor level and large floor to ceiling height windows at first floor level. The northern elevation overlooking the rear garden of 223 Forest Road would have no windows or doors and the southern elevation facing the informal access lane and the rear garden of 227 Forest Road would have one vertical strip stairwell window from ground to first floor level.

The dwelling would be a prefabricated and brought to site. The proposed materials are all natural to provide a breathable, low-energy building. Horizontal timber cladding is proposed as the main external finish, with dark grey recessed windows and a mixture of solid grey recessed panels on the east, west and south elevations. The proposed flat roof would contain a small array of roof mounted solar panels.

The proposals would also retain the majority of the existing half-height red brick wall however the existing timber lattice would be replaced with horizontal timber to match the main façade of the proposed dwelling.

Amenity space would be provided through a small patio area (approximately 8sqm) to the rear of the proposed dwelling at the end of the garden and an area of grass (approximately 21sqm) achieved through the subdivision of the existing garden at 225 Forest Road.

No vehicular access is proposed to the site. Pedestrian access would be achieved via the existing service lane to the south of the site via two proposed access gates, one enabling access to the front of the proposed dwelling and the second to the patio/bin store to the rear. The dwelling would have separate, secure and covered bin and bike stores. As part of the development, the Applicant also proposes to improve the surface of the existing access lane to the side of 225 Forest Road.

PRE-APPLICATION COMMUNITY INVOLVEMENT

The Applicant has carried out pre-application neighbour consultation as detailed in the Design and Access Statement submitted with the planning application.

An information leaflet and door knocking exercise was undertaken to inform neighbours of the proposed development and invite them to contact the Applicant and Local Councillors if they had any suggestions or concerns that might improve the local impact of the proposed development.

The thoughts received and issues raised are detailed in Section 9 of the Design and Access Statement submitted in support of the application.

Development Control Committee B – 19 December 2018
Application No. 18/04579/F : 225 Forest Road Bristol BS16 3QX

RESPONSE TO PUBLICITY AND CONSULTATION

GENERAL RESPONSE FROM PUBLIC

Letters were sent to neighbouring properties, no responses were received from members of the public.

COMMENTS FROM COUNCILLORS

Councillor Craig Cheney – Neutral

The application has been referred to committee by Councillor Craig Cheney, who wished the application to be determined by committee if the officer recommendation was for refusal. Councillor Cheney's reason is as follows:

"The current space standards for a one person one bedroom home is based on a single floor. There is no information for a two story building. Therefore, although the SNUG home is greater than the minimum space standards, the planner has to reject it. I believe we need a committee discussion on this."

COMMENTS FROM INTERNAL CONSULTEES

City Design Group – Objection

The application was taken to Design Surgery and the following comments received:

The two storey development is not in keeping or subservient in this back land setting.

There are a number of large single storey garages in this location and therefore a single storey studio apartment with a larger floor space if necessary would be considered more acceptable.

Separate and designated amenity space should be provided for the dwelling. The shared space cannot be controlled and is likely to be underused not serving, further limiting the amount of amenity space.

The dwelling should be set back from the lane boundary and amenity space should be provided between the lane and dwelling. Open non-closed board fencing could be used to prevent a feeling of enclosure.

The dwelling should be more in keeping with surrounding properties in terms of finish and materials.

The dwelling should be re-orientated to face the lane to improve the outlook and relationship with its setting.

Note: The original proposals for the dwelling included shared grass amenity space between the proposed SNUG home and 225 Forest Road. However, following feedback from the Council revised plans were submitted to subdivide the amenity space between the proposed dwelling and 225 Forest Road creating separate private amenity space for the two properties.

Transport Development Management – No objection

With regard to the proposed dwelling it is located at the end of a private access drive, which currently serves a number of rear accesses for the existing dwellings on Forest Road and also Tredegar Road.

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From the details provided on drawing AR-04 the proposal is located to the rear of the property and does not appear to provide any vehicle parking facilities. Having carried out a desktop study of the local area it is apparent that the nearest bus stop is over 900m from the site. However there does appear to be on-street parking in the location. As such one car associated with the single dwelling is unlikely to result in a severe impact.

It is noted that a bike store has been shown, the applicant would need to make sure that this is secure and accessible. The applicant has also proposed a bin store in the corner of the site. Although there is no objection in principle to its internal location the applicant would need to make sure that the bin store is within 35m of the kerbside so it is accessible for Bristol Waste to collect. In terms of the actual bin requirements this would have been set out by Bristol Waste.

In terms of the upgrade to the private access lane, as it is private we don't have any real issues with these works. However they would require a licence if it is to tie into the back of the existing highway. Plus it would be good to understand what they mean by improve.

Flood Risk – No objection

Referred to standing advice.

COMMENTS FROM EXTERNAL CONSULTEE

The Coal Authority – No objection

The Coal Mining Risk Assessment has been informed by an appropriate range of desk based sources of information; including a Coal Authority Mining Report, Coal Authority mining records; borehole records and geological mapping. Based on this review of the existing geological and mining information the Report is able to conclude that neither shallow coal mine workings nor mine gases pose a risk to the proposed development. Accordingly, no specific remedial/mitigation measures are considered necessary.

The Coal Authority considers that the content and conclusions of the Coal Mining Risk Assessment are sufficient for the purposes of the planning system and meets the requirements of NPPF in demonstrating that the application site is safe and stable for the proposed development. The Coal Authority therefore has no objection to the proposed development.

RELEVANT POLICIES

National Planning Policy Framework – July 2018

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocations and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate).

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

KEY ISSUES

A) IS THE PROPOSED DEVELOPMENT ACCEPTABLE IN PRINCIPLE?

Policy BCS5 sets out that the Core Strategy aims to deliver new homes within Bristol's existing built up areas. Between 2006 and 2026, 30,600 new homes will be provided in Bristol.

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The site is not allocated for any particular land use in the Local Plan. The site lies within an existing residential area, it is considered to be a sustainable location with access to public transport and within walking distance of a district centre at Lodge Causeway.

The proposed development would contribute to the delivery of new homes as outlined in Policy BCS5 and would add to the mix of accommodation in this area. Therefore it is considered that the principle of residential development in this location is acceptable in accordance with Policy BCS5.

B) WOULD THE PROPOSED DEVELOPMENT CREATE AN ACCEPTABLE STANDARD OF AMENITY FOR FUTURE OCCUPIERS?

The adopted Bristol Core Strategy Policy BCS15 outlines that sustainable design and construction will be integral to new development in Bristol. In delivering sustainable design and construction, development should ensure flexibility and adaptability, allowing future modification of use or layout, facilitating future refurbishment and retrofitting.

Policy BCS18 makes specific reference to residential developments providing sufficient space for everyday activities and space which should be flexible and adaptable, by meeting appropriate space standards. The Core Strategy states that building to suitable space standards will ensure new homes provide sufficient space for everyday activities.

Policy BCS21 further outlines that development in Bristol is expected to safeguard the amenity of existing development and create a high-quality environment for future occupiers.

The Core Strategy is supported by the Bristol City Council Space Standards Practice Note which outlines that the Council has established the principle of applying The UK Government's Technical housing standards – nationally described space standard (March 2015) ('housing space standards') to new residential development through the Bristol Development Framework.

The Note outlines that the provision of sufficient living space within new homes is an important element of good housing design and a pre-requisite for basic living. Potential residents of new homes should be provided with sufficient space for basic daily activities and needs.

The Note further acknowledges that whilst the Nationally Described Space Standards include standards for 1 bed space units, it states that it is expected that new dwellings will provide at least 2 bed spaces. This is the smallest unit size that could meet the flexibility and adaptability requirements of Policies BCS15, BCS18 and BCS21 i.e. accommodate sufficient space for a partner, a child, temporary carer or visiting friends or relatives.

With reference to the Core Strategy, Space Standards Practice Note and in accordance with the UK Government's Nationally Described Space Standards the technical standards outline that a 1 bedroom, 1 bed space dwelling over a single storey, should have a gross internal floor area of 39sqm or 37sqm (where the dwelling has a shower room instead of a bathroom). Whilst the proposed dwelling would meet this 1 bedroom, 1 bed space requirement at approximately 41sqm, it is important to note that it would not meet this over a single storey (each storey is approximately 20.5sqm), meaning that future occupiers would have to move between the two storeys to experience the required level of floor space. The dwelling also does not meet the technical requirement for a 1 bed space, single bedroom which should have a gross internal floor area of 16.125sqm, the dwelling's proposed bedroom has an overall gross internal floor area of approximately 8sqm.

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It also worth noting that the Nationally Described Space Standards does not provide a technical standard for a 1 bedroom, 1 bed space dwelling over two storeys, the nearest technical standard for a two storey dwelling is 58sqm which is for a 1 bedroom, 2 bed space dwelling over two storeys.

In light of the above and with specific reference to the Bristol Core Strategy and Space Standards Practice Note, it is considered that the proposed dwelling would not meet the flexibility and adaptability requirements of Policies BCS15, BCS18 and BCS21. The dwelling not only proposes a 1 bed space dwelling which would only achieve the minimum technical standard via the occupants travelling between the two floors but it is also proposes a significantly undersized single bedroom.

Furthermore, as outlined in the Space Standards Practice Note, Bristol City Council expects that all new dwellings provide at least 2 bed spaces. It is considered that a 1 bed space dwelling such as the one proposed through this application could not sufficiently accommodate space for a partner, a child, temporary carer or visiting friends or relatives and the adaptability requirements of the Core Strategy.

In addition to the concerns raised with regards to the minimum internal space standards, it is further considered that the development would not satisfactorily safeguard the amenity of existing development and create a high quality environment for future occupiers.

The proposed dwelling would be located within the rear garden of 225 Forest Road and therefore with the addition of the SNUG home, plus the subdivision of the garden to retain some amenity space for the existing 225 Forest Road, the proposed amenity space for the proposed dwelling would be limited and of a poor quality.

Whilst the dwelling would have its own private amenity space, this would be separated between the front and rear. The rear patio space would also be located in close proximity (2m) from the rear boundary wall, creating a sense of enclosure through the brick wall and closed board fence.

It is therefore further considered that the proposed development would not meet the objectives of Policy BCS21 by a creating a high quality environment for future occupiers.

C) IS THE PROPOSED DESIGN ACCEPTABLE AND WOULD THE PROPOSED DEVELOPMENT HARM THE CHARACTER OR APPEARANCE OF THIS AREA?

Policy BCS21 of the Bristol Core Strategy sets out a priority for a high standard of urban design. It outlines that development should contribute positively to an area's character and identity, creating and reinforcing local distinctiveness.

Policy DM21 of the Site Allocations and Development Management Policies (SADMP) outlines that in all cases, development of garden land should not result in harm to the character and appearance of an area.

Policies DM26, DM27 and DM29 of the SADMP further contain guidelines on design, stating that development should make a contribution to the character of an area through its layout, form, public realm and building design.

The surrounding area is characterised by two storey terraced dwellings of a variety of styles, with many plots containing single storey outbuildings/garages in their rear gardens. The proposals would result in the development of a two storey dwelling in the rear garden of 225 Forest Road.

Whilst it is considered that the modern box design of the dwelling would contrast with the surrounding properties in terms of finishes and materials, the design is high quality, unique and therefore these

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modern finishes are considered acceptable. Furthermore, the dwelling's height and shape would ensure that the proposed development is subservient to the existing 225 Forest Road property.

However, whilst it is acknowledged that the surrounding dwellings on Forest Road and Tredegar Road are two storey, the proposed dwelling would not have a direct relationship with these surrounding terraces, instead the dwelling would be located in a rear garden location where its immediate context is defined by single storey outbuildings/garages.

It is therefore considered that the introduction of a two storey dwelling in this location would not respond appropriately to the local character or grain of development in this back land location contrary to Policies BCS21, DM21, DM26, DM27 and DM29.

D) WOULD THE PROPOSED DEVELOPMENT BE ACCEPTABLE ON NEIGHBOURING AMENITY?
 Policy BCS21 of the Core Strategy requires new development to safeguard the amenity of existing development.

Policy DM29 states that new buildings should be designed to a high standard of quality, responding appropriately to their importance and reflecting their function and role in the public realm.

The dwelling would be positioned at a great enough distance from adjoining occupiers and be of a smaller scale so as to not cause overbearing to surrounding properties.

The dwelling's location would also prevent overshadowing to the existing habitable rooms of surrounding dwellings, however it is likely to cause overshadowing to the rear gardens of surrounding properties.

In terms of overlooking, whilst the proposed dwelling would have all habitable rooms facing the rears of 1 and 2 Tredegar Road there would be an acceptable separation distance of 24m from the proposed dwelling and the second floor habitable rooms. 2 Tredegar Road does also have a rear single storey extension located approximately 20m from the proposed dwelling, however intervening development including boundary walls and single storey garages would mean that there would be no direct overlooking from the dwelling.

The nearest dwelling to the proposed development, 225 Forest Road, would be located approximately 10m from the proposed dwelling at its closet point. However, there would be no habitable rooms facing the existing dwelling, with only a high level obscured bathroom window and a vertical strip stairwell window facing the existing property.

No windows are proposed on the northern elevation of the dwelling facing onto the rear garden of 223 Forest Road and only one vertical strip stairwell window is proposed on the southern elevation facing the rear garden of 227 Forest Road.

It is therefore considered that the proposed development would not cause unacceptable harm to neighbouring amenity in accordance with Policies BCS21 and DM29.

E) WOULD THE PROPOSED DEVELOPMENT SATISFACTORILY ADDRESS TRANSPORT AND MOVEMENT ISSUES?

Policy BCS10 requires that development should be designed and located to ensure that provision of safe streets. It outlines that development should create places and streets where traffic and other activities are integrated.

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Policy DM23 states that development should not give rise to unacceptable traffic condition and proposals for parking, servicing and loading should make effective and efficient use of land.

The proposed development is situated within an established residential area within walking distance to public transport and local amenities.

The proposed development does not propose any on-site parking. Consultation with Transport Development Management confirmed that the lack of onsite vehicular parking provision in this location was acceptable.

The proposed development includes secure, covered cycle parking for 2no. bikes. The amount of cycle parking spaces is acceptable in accordance with Appendix 2 of the Bristol Local Plan Site Allocations and Development Management Policies.

Policy DM32 states that all new residential development will be expected to provide sufficient space for the storage of individual (and if appropriate communal) recycling and refuse containers. A bin store and recycling area is proposed to the rear of the dwelling which meets the Council's requirements. Although there is no objection in principle to its location TDM have commented that the Applicant would need to make sure that the bin store is within 35m of the kerbside so it is accessible for Bristol Waste to collect.

The proposed development is therefore considered to accord with Policies BCS10, DM23 and DM32.

F) IS THE PROPOSED DEVELOPMENT ACCEPTABLE IN TERMS OF COAL MINING RISK?

Policy DM37 outlines that on sites where there is reason to suspect unstable land and the risk of instability has the potential to materially affect either the proposed development or neighbouring uses/occupiers, development will only be permitted where a desk-based study of available records has been carried out to assess the previous uses of the site and their potential for instability in relation to the proposed development.

The application site is located within a high risk coal mining area and therefore the Applicant submitted a Coal Mining Risk Assessment in support of the application.

The Coal Mining Risk Assessment has been reviewed by The Coal Authority who has confirmed that the assessment has been informed by an appropriate range of desk based sources of information; including a Coal Authority Mining Report, Coal Authority mining records; borehole records and geological mapping. Based on this review of the existing geological and mining information the Report is able to conclude that neither shallow coal mine workings nor mine gases pose a risk to the proposed development. Accordingly, no specific remedial/mitigation measures are considered necessary and The Coal Authority has no objection to the application.

The application is therefore considered to be acceptable in the context of Policy DM37.

G) DOES THE PROPOSAL DEMONSTRATE A SUSTAINABLE DESIGN AND CONSTRUCTION?

Policy BCS13 sets out that development should include measures to mitigate and adapt to climate change and to meet targets to reduce carbon dioxide emissions.

Policy BCS14 sets out that development in Bristol should include measures to reduce carbon dioxide emissions by minimising energy requirements and incorporating renewable and low carbon energy sources. Development will be expected to provide sufficient renewable energy to reduce carbon dioxide emissions by a minimum of 20%.

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Policy BCS15 outlines that sustainable design and construction should be integral to new development in Bristol. Consideration of energy efficiency, recycling, food adaption, material consumption and biodiversity should be included as part of a sustainability or energy statement.

A Sustainability Statement was submitted alongside the application. The statement outlines that through a combination of solar photovoltaics and energy efficiency measures, an overall 43% reduction in CO2 emissions could be achieved. This would accord and exceed the provision set by Policy BCS14.

CONCLUSION

The ambition of the Applicant, their innovative approach to potential housing solutions, the principle of residential development at the site, and its sustainability credentials are acknowledged. However, it is considered that the application for the SNUG home as presented could not be approved at this site. The proposed development would create an unacceptable standard of amenity for future occupiers and is not suitable in the context of this back land location and these factors would not be outweighed by the modest benefits of one additional dwelling.

The proposed development would provide a very small, single person dwelling which would not meet the flexibility and adaptability requirements of Policies BCS15, BCS18 and BCS21. The external amenity space would also be limited and cramped and not create a high quality environment for future occupiers.

The proposed development would constitute overdevelopment of a small back land plot and its two storey form would be out of character within its rear garden location which is defined by single storey outbuildings/garages.

Given the nature of the proposed development, the application has been assessed under a broad range of headings within this Report, however having carefully considered the policy context and technical standards, the application is recommended for refusal for the reasons detailed below.

CIL

How much Community Infrastructure Levy (CIL) will this development be required to pay?

The CIL payable for this development is £2,966.07.

RECOMMENDATION REFUSE

The following reason(s) for refusal are associated with this decision.

Reason(s)

1. By virtue of the proposed development's scale, location and gross internal floor space, future occupiers would experience an unacceptable standard of amenity. The proposed 1 bed space dwelling would not achieve the flexibility and adaptability requirements for new dwellings in Bristol and the proposed external amenity space would be limited and of a poor quality. The proposals are therefore contrary to Policies BCS15, BCS18 and BCS21 of the Bristol Core Strategy (2011).
2. By virtue of the proposed development's location, scale and siting, the proposals would not respond appropriately to the local character or grain of development. The two storey elevation

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would not be in keeping in this back land location. The proposals are therefore contrary to Policies BSC21 of the Bristol Core Strategy (2011) and Policies DM21, DM26, DM27 and DM29 of the Bristol Site Allocations and Development Management Plan (2014).

OTHER MATTERS

As indicated in the relevant history section of this Report, Members should be aware that there is currently another live planning application (ref. 18/04580/F) for this site, for the proposed conversion of the existing two storey, three bedroom 225 Forest Road into two one bedroom flats.

This other application, like this one before members presented within this Report has also been recommended for refusal on the following ground.

1. By virtue of proposed flats' scale and gross internal floor area, future occupiers would experience an unacceptable standard of amenity. The proposed ground floor flat would not meet the technical standard for a 1 bedroom, 2 bed space dwelling over a single storey and the proposed first floor flat would not meet the technical standard for a 1 bedroom, 1 bed space dwelling with a bathroom over a single storey. The proposals are therefore contrary to Policies BCS15, BCS18 and BCS21 of the Bristol Core Strategy (2011).

As is required, each application has been assessed on its own merits and therefore the recommended reason(s) for refusal for each application relate specifically to the proposals contained within each application.

However, given that both applications are live and to be considered by Members at the same committee, Officers felt it pertinent to outline the Council's further concerns about the potential cumulative impact at the site if both applications were to be approved contrary to Officer recommendation.

Primarily these concerns relate to the overdevelopment of the application site. Officers are concerned that if both applications are approved the developments in combination would result in disturbance to existing residents and the overdevelopment of the plot. The two permissions would result in the provision of 3 dwellings within a plot that currently serves 1 dwelling. Taking into consideration the context of the surrounding area, where the majority of dwellings remain in single dwelling occupancy, it is considered that this would result in over intensification and overdevelopment of the plot that would be inappropriate in this location and could cause harm to the amenity of neighbouring dwellings and the character of the area.

Officers considered it important context to outline these wider concerns for the application site.

Advice(s)

1. Refused Applications Deposited Plans/Documents

The plans that were formally considered as part of the above application are as follows –

Site Location Plan

AR-01 Site Boundary Plan

AR-04 Site Plan – Proposed Ground Floor Plan

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AR-06 Site Plan – Proposed Coloured/Roof Plan

AR-08 Proposed Ground and First Floor Plans

AR-09 Proposed Elevations

AR-10 Proposed Perspective Views

Design and Access Statement

Coal Mining Risk Assessment

Sustainability Statement

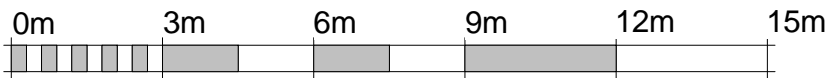
Supporting Documents

3. 225 Forest Road

1. Site Boundary plan
2. Proposed floor plans
3. Proposed elevations
4. Proposed perspective views



Site Boundary



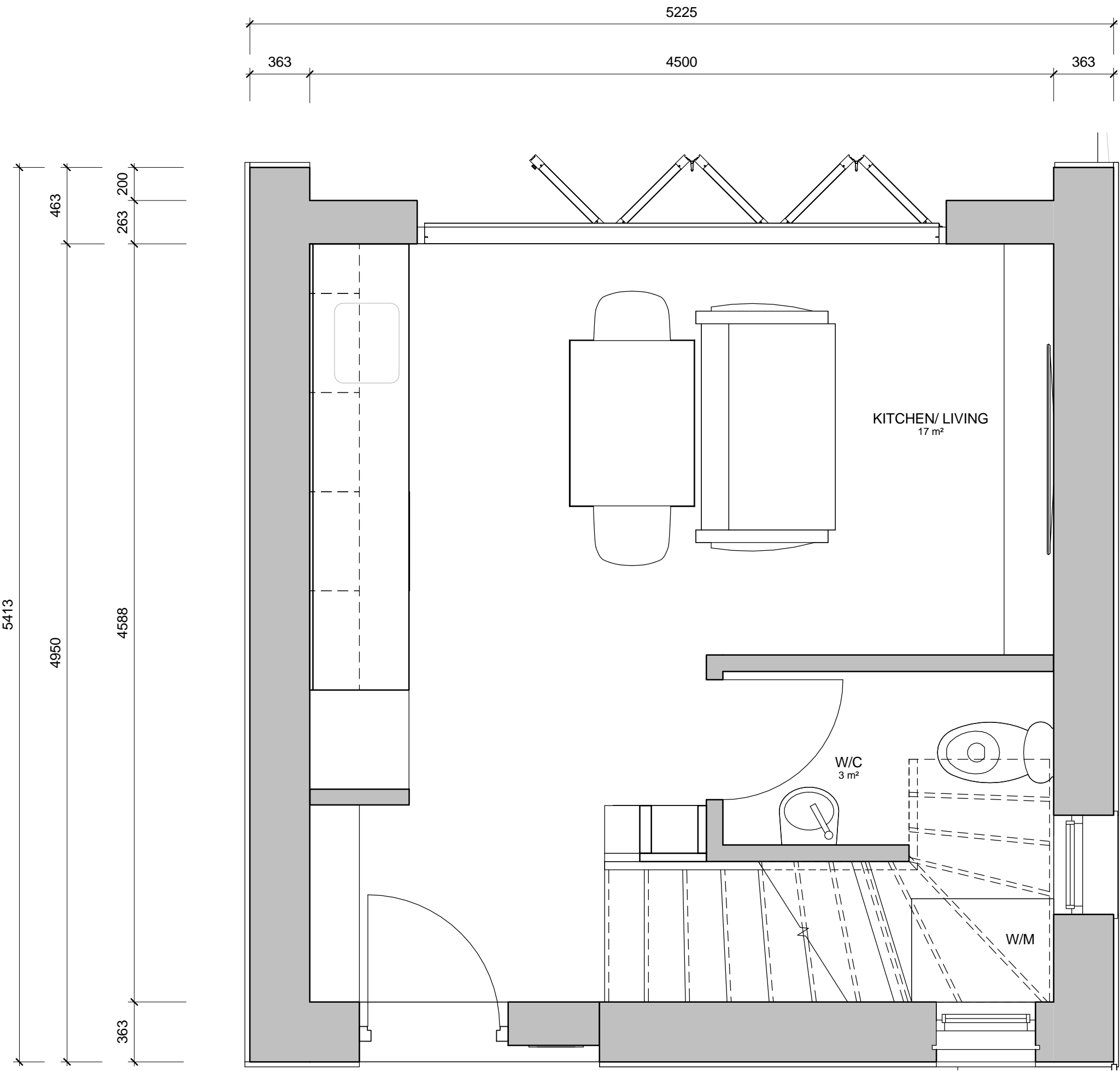
Planning

Project
225 Forest Road, Bristol

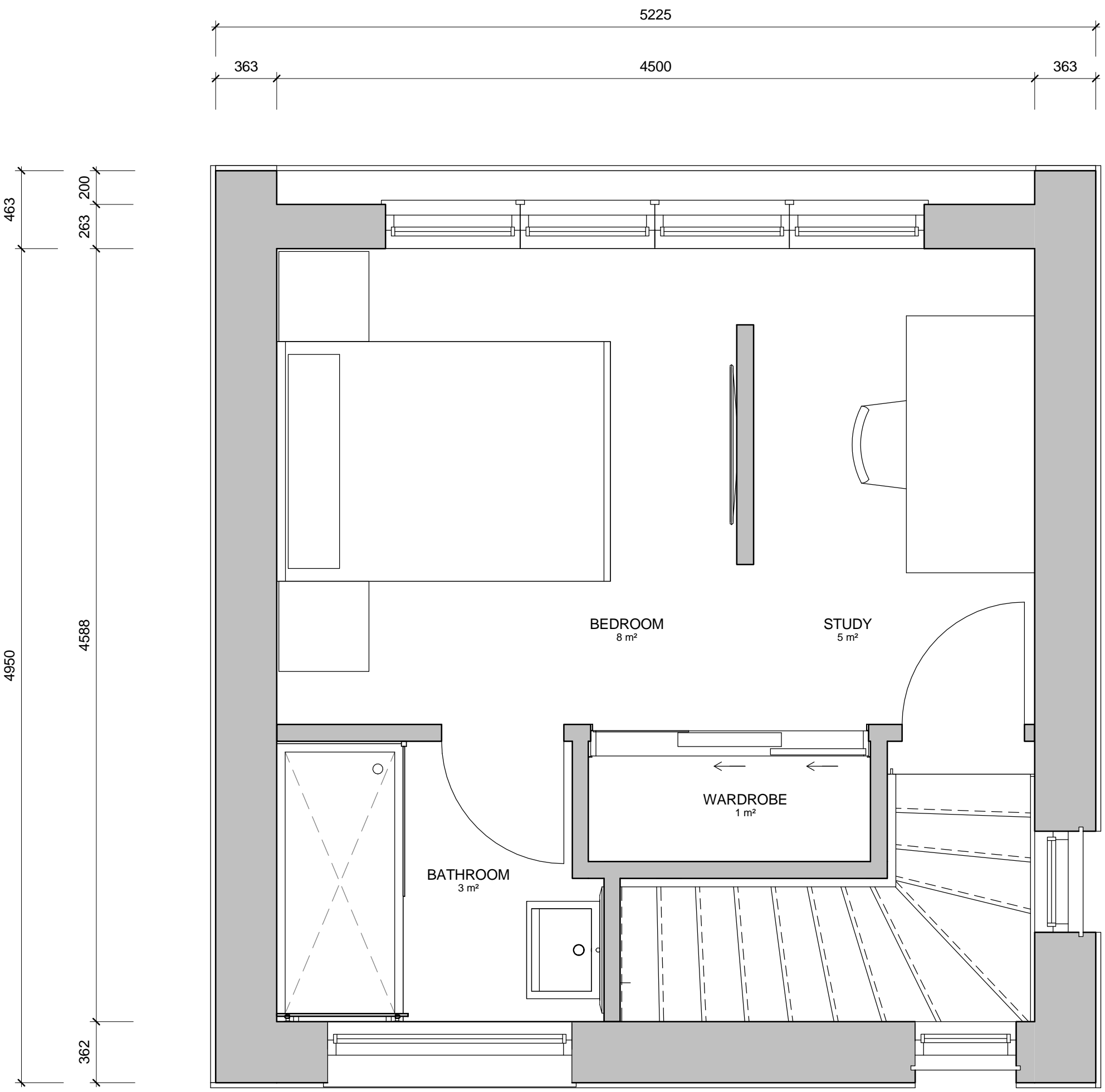
Drawing Title
Site Boundary Plan

| | | | |
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| Date 09/13/17 | Scale 1 : 150 @ A1 1 : 300 @ A3 | Drawn by EH | Check by AD |
| Project No 27007 | Drawing No AR-01 | Revision | |

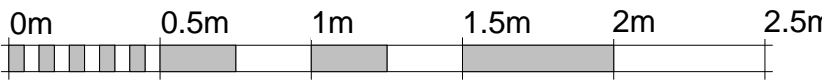




Ground Floor Plan
1 : 25



First Floor Plan
1 : 25

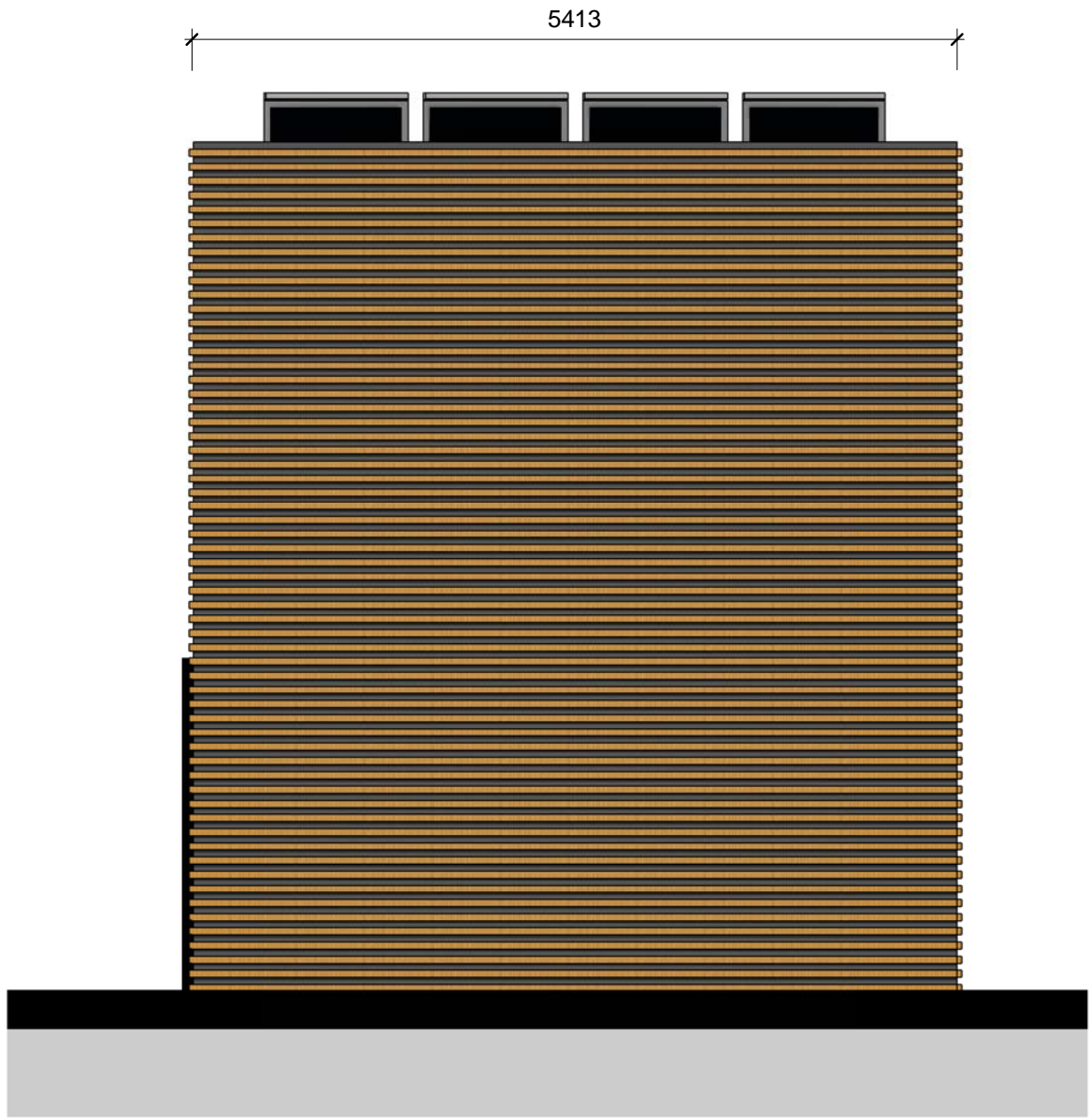


Planning

Project
225 Forest Road, Bristol

Drawing Title
SNUG Floor Plans

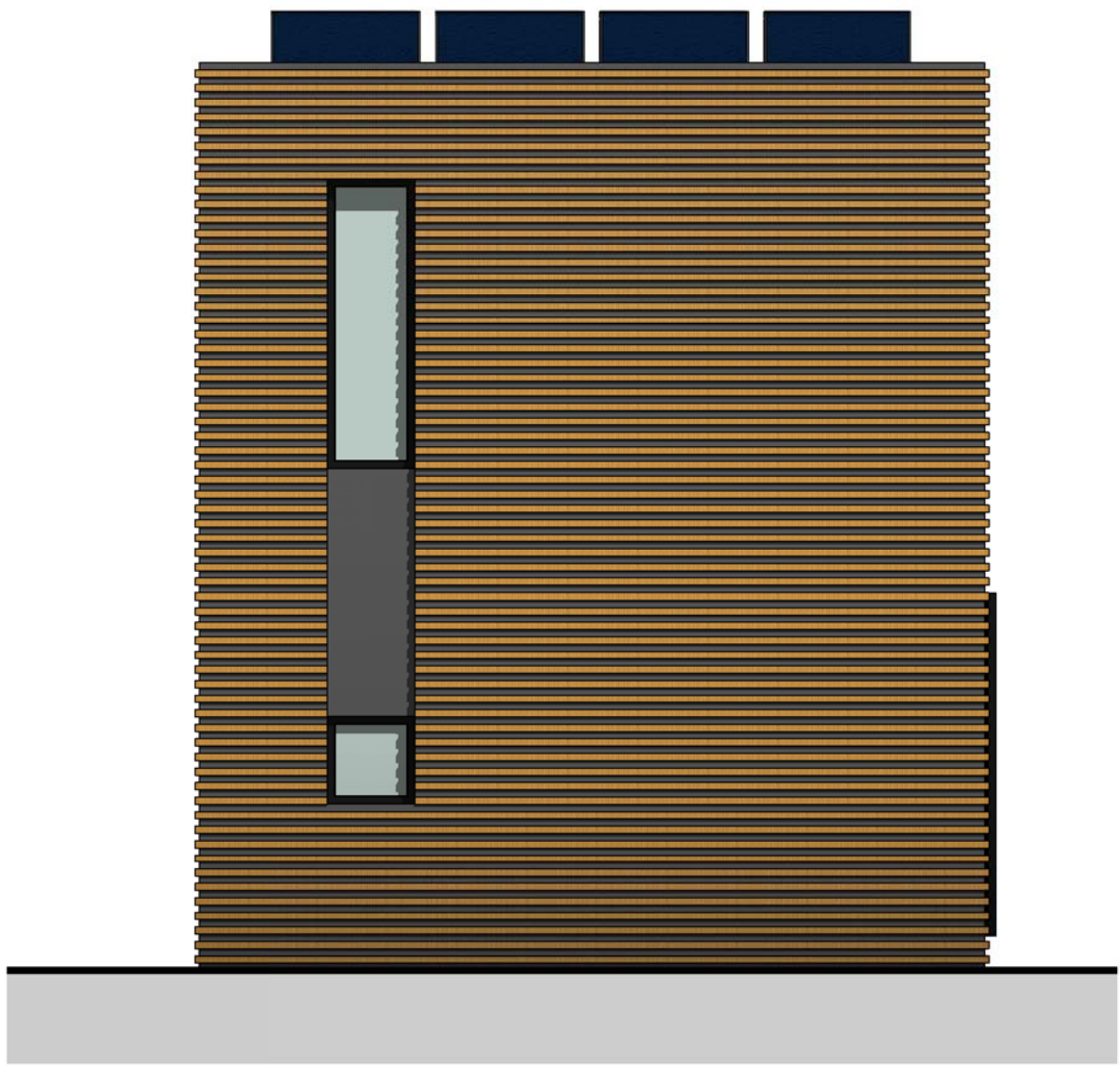
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| Date 09/13/17 | Scale 1 : 25 @ A1 1 : 50 @ A3 | Drawn by EH | Check by AD |
| Project No 27007 | Drawing No AR-08 | Revision | |



North Elevation
1 : 50



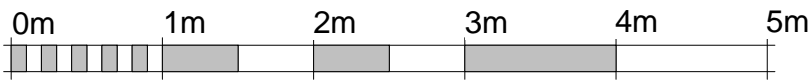
East Elevation
1 : 50



South Elevation
1 : 50



West Elevation
1 : 50



Planning

Project
225 Forest Road, Bristol

Drawing Title
SNUG Elevations

| | | | |
|---------------------|--------------------------------------|----------------|----------------|
| Date 09/14/17 | Scale 1 : 50 @ A1 1 : 100 @ A3 | Drawn by EH | Check by AD |
| Project No 27007 | Drawing No AR-09 | Revision | |

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View from Forest Road



View Looking South Along Rear Lane

Planning

Project
225 Forest Road, Bristol

Drawing Title
Perspectives

| | | | |
|---------------------|---------------------|----------------|----------------|
| Date 09/14/17 | Scale @ A1 | Drawn by NB | Check by AD |
| Project No 27007 | Drawing No AR-10 | Revision | |

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Development Control Committee B – 19 December 2018

ITEM NO. 4

WARD: Clifton Down **CONTACT OFFICER:** David Macfadyen

SITE ADDRESS: 15 Ashgrove Road Redland Bristol BS6 6NA

APPLICATION NO: 18/05089/F Full Planning

DETERMINATION DEADLINE: 21 December 2018

Construction of 3-storey building incorporating a basement level below ground for single dwelling house (use class C3).

RECOMMENDATION: Grant subject to Condition(s)

AGENT: Grazebrook Architects
12 Dowry Square
Hotwells
Bristol
BS8 4SH

APPLICANT: Dr Neil Phillips
124 Parrys Lane
Stoke Bishop
Bristol
BS9 1BJ

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee B – 19 December 2018
Application No. 18/05089/F : 15 Ashgrove Road Redland Bristol BS6 6NA

SUMMARY

The site is located within the Redland area of the Clifton Down ward. The application seeks full planning permission for development of a three storey building at the site for use as a single residential dwelling (use class C3) incorporating a basement level. It should be noted that the acceptability of development of a two storey, four bedroom house at the site has previously been established by earlier applications. This was initially granted planning permission in 2014 and granted subsequent variations for amendments to the proposed design in 2014, 2015 and 2017. Above ground level, the house proposed under the current application is substantially the same as has previously been consented. It is understood that development has been commenced and that the permission is extant.

The key area of difference and thus the main issue under consideration with the current application in front of Members relates to the introduction of a proposed basement level for use by the dwelling as additional storage area.

The application received 24 objections following public consultation, including from local amenity groups. The level of objection has thus resulted in the nomination of the application for determination by Committee.

Significantly, a substantial proportion of objections related to matters including the acceptability of the site to accommodate an additional dwelling as well as the potential for use of the dwelling as a House in Multiple Occupancy. Objections were also received relating to the potential impact to trees at adjacent sites, potential construction and structural impacts.

The impact of the proposed basement level in relation to trees at adjacent sites has been carefully assessed and deemed acceptable by Officers. The various additional impacts of the proposed basement level have also been considered and deemed acceptable. These relate to the appearance, character and significance of the surrounding Whiteladies Road Conservation Area, neighbouring amenity and living conditions as well as potential construction and structural impacts.

It is the conclusion of Officers that the development is in accordance with all relevant planning policy. Review of all relevant material considerations has not presented any issues which would warrant refusal.

Consequently, the report beneath concludes in the recommendation to Members that planning permission be granted subject to safeguarding conditions.

SITE DESCRIPTION

The site is located to the eastern side of Westfield Park and relates to the former rear yard/garden area of 15 Ashgrove Road. This area previously contained a large garage which has now been demolished. 15 Ashgrove Road comprises a three storey (plus basement) semi-detached villa which forms a pair with the neighbouring property to the east (14 Ashgrove Road). The building contains four self-contained flats which are in use for multiple occupancy.

Planning permission for development of a two storey dwelling in place of the previous garage on land to the rear of the site was granted in September 2014. This permission was later varied by three subsequent amendment applications. Development is understood to have commenced on this permission in August 2017. The site is bound by the existing building, 15 Ashgrove Road to the south, 14 Ashgrove Road and its rear garden to the east and Bamford Terrace to the north. Bamford Terrace is a four storey terraced building dating from the late 1980's comprising four townhouses. The site is located within the Whiteladies Road Conservation Area.

Development Control Committee B – 19 December 2018
Application No. 18/05089/F : 15 Ashgrove Road Redland Bristol BS6 6NA

PLANNING HISTORY

Application ref: Proposal: Decision:

| Application ref: | Proposal: | Decision: |
|------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------|
| 09/00048/H | Extension of existing detached garage to rear | REFUSED - 05.03.2009 |
| 10/04490/F | Demolition of private garage and construction of 2 storey building containing 2no. two bed flats | REFUSED - 07.12.2010 |
| 11/03636/F | Demolition of private garage and construction of 2-storey building containing 2 no. self-contained flats | REFUSED - 18.10.2011 |
| 12/04579/F | Demolition of existing private garage and construction of 2-storey building containing 2 no. self-contained flats. Works may involve the part demolition and rebuilding of the stone boundary wall | REFUSED - 11.12.2012 |
| 13/04683/F | Demolition of existing private garage and construction of 2-storey building for single dwelling house. Works involve the part demolition and rebuilding of the stone boundary wall to match existing | WITHDRAWN - 11.04.2014 |
| 14/02040/F | Demolition of existing private garage and construction of 2-storey building for single dwelling house. Works may involve the part demolition and rebuilding of the stone boundary wall but to match existing. | GRANTED - 02.09.2014 |
| 14/05553/X | Variation of condition Nos. 11, 12 and 14 attached to planning permission 14/02040/F - To change condition 11 to insert high level opening lights to the first floor rear window to provide accessible ventilation into rear bedroom. Change condition 12 to insert two new roof lights to provide additional ventilation and daylight to the two first floor habitable rooms, and change condition 14 to vary the approved plans to increase the height of the roof by 200mm | GRANTED - 30.12.2014 |
| 15/01151/X | Application for variation of condition 14 (list of approved plans and drawings) following the grant of planning permission 14/02040/F - Demolition of existing private garage and construction of 2-storey building for single dwelling house. Works may involve the part demolition and rebuilding of the stone boundary wall but to match existing - to alter roof pitch and external materials/appearance | REFUSED - 01.05.2015 (APPEAL ALLOWED - 06.02.2016) |

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Application No. 18/05089/F : 15 Ashgrove Road Redland Bristol BS6 6NA

| | | |
|---------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| 16/01198/COND | Application to approved details in relation to conditions 2 (Arboricultural Assessment and Method Statement) and 3 (Protection of retained Trees) of permission 14/02040/F Demolition of existing private garage and construction of 2-storey building for single dwelling house. Works may involve the part demolition and rebuilding of the stone boundary wall but to match existing - to alter roof pitch and external materials/appearance | DETAILS APPROVED - 07.07.2016 |
| 17/00719/X | Application to vary conditions 14 (list of approved plans and drawings) attached to consent granted under app.no. 14/02040/F to allow change to pitch roof. | GRANTED - 07.04.2017 |
| 18/03099/F | Demolition of garage and construction of 3-storey building incorporating a basement to provide a single dwellinghouse. | WITHDRAWN - 12.09.2018 |

APPLICATION

The application seeks planning permission for development of a three storey house (including basement) at the site. Above ground, the proposed house would be materially the same as has been previously been permitted under application 17/00719/X (details above). This would be a two storey dwelling containing four bedrooms with a shallow pitched roof. The current application now however seeks to add a basement below ground level. The proposed basement would measure a maximum of 10m in depth, 5.6m in width and 3.5m in height below pavement level. The basement would span the majority of the footprint of the house but would terminate 2.75m from the eastern boundary of the site (towards 14 Ashgrove Road). The basement would be accessed via an external door within the southern side elevation. The basement would be used for storage, ancillary to the use of the wider self-contained dwelling (use class C3).

COMMUNITY INVOLVEMENT

The proposed development is classed as 'Minor' development; therefore there is no requirement for the Applicant to demonstrate community engagement prior to submitting the application.

EQUALITIES ASSESSMENT

During the determination of this application due regard has been given to the impact of this scheme in relation to the Equalities Act 2010 in terms of its impact upon key equalities protected characteristics. These characteristics are age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sex and sexual orientation. There is no indication or evidence (including from consultation with relevant groups) that different groups have or would have different needs, experiences, issues and priorities in relation this particular proposed development. Overall, it is considered that the approval of this application would not have any significant adverse impact upon different groups or implications for the Equalities Act 2010.

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RESPONSE TO PUBLICITY AND CONSULTATION

31 neighbouring properties were directly consulted via neighbour letter in relation to the application. A site notice and press advert were also published, along with the application being listed on the planning section of the Council website.

The deadline for comments was 31st October 2018.

A total of 23 responses were received in objection to the proposed development.

The content of objections are summarised as follows:

- Harm to health of adjacent tree
- 'Over development'
- Loss of garden land and principle of development of a house
- Harm to amenity and living conditions during construction
- Structural impact and potential for damage to neighbouring properties
- Feasibility of construction - lack of detail with regard to proposed construction techniques
- Potential for occupation by students as a HMO (and various issues associated with HMO/Student use such as noise, bin storage, parking issues etc.)
- Piecemeal application approach - numerous applications over long period

AMENITY GROUPS

The Redland and Cotham Amenities Society objected to the application as follows:

The basement and the pile foundation is within the root area of the neighbour's tree. The 600mm deep trench does not prove that there are no roots; there is a significant ground level difference between the two properties. The excavation of the basement level and foundation construction is highly likely to lead to the death of the neighbour's tree, as well as unacceptable harm to the neighbour's amenity during the construction period. Without the consent of the neighbour to the loss of this tree and agreement of mitigation planting or s106 contribution, it is not acceptable to approve the scheme as it stands. The proposal to construct a basement is over-development. It is also highly likely to lead to further applications to create living accommodation at basement level. In view of the protracted and repeated delays in building the approved scheme, we suggest that the principle of approval implied by the 2015 permission is reconsidered.

The Conservation Advisory Panel submitted the following comment classified as neutral - neither objecting to, nor supporting the planning application:

The Panel had objected to the previous application considering that the proposal did nothing to preserve or enhance the conservation area and the setting of non-designated heritage assets and was therefore contrary to the relevant policy test of the NPPF and the local plans. The documents described the roof pitch as either 30o or 18.5o. Both these roof pitches were inconsistent with a 'Coach House' style of building. A subservient building of this type should have a much steeper roof pitch. In addition the window positions were badly placed in the front elevation. The basement with only external access and no internal access was a mystery.

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CASE OFFICER RESPONSES

Initially, it is highlighted that the acceptability of development of a two storey, four bedroom house at the site has previously been established by earlier applications. This was initially granted planning permission in 2014 and granted subsequent variations for amendments to the proposal in 2014, 2015 and 2017. Development is understood to have commenced in relation to this permission by carrying out of demolition and ground works. The permission therefore remains extant and is a material consideration of considerable weight in determination of the current application. As such, assessment of the current application relates primarily to the differences between the granted extant permissions and the current proposals. This relates solely to the introduction of a proposed basement level.

It is noted that the current application and previous consents at the site, relate only to a proposed single residential dwelling (use class C3) rather than a multiple occupancy dwelling (use class C4 or Sui Generis). Comments submitted which assume a potential alternative use (HMO or otherwise) and the various merits of such uses are therefore not relevant to the current application. If an application was submitted for change of use of the building at a later date, this would be assessed upon its relative merits at that point. It is worth highlighting that as the site is located within an area covered by an Article 4 Direction which requires planning permission for change of use of a building for occupation by more than 2 unrelated individuals. If change of use was to take place without planning permission, this would be subject of enforcement investigation and possible action.

With regards to the potential for damage to neighbouring properties, structural or otherwise as a result of development, it is highlighted that the development would be required to comply with all relevant Building Regulations. This would be certified by the separate Building Control process. Compliance with Building Regulations should ensure that construction is structurally adequate. It is noted that the applicant has submitted a Structural Stability Report from the appointed project Structural Engineer (KB2 Consulting Civil & Structural Engineers). This is sufficient to demonstrate due consideration of structural matters for planning purposes. Ultimately, any damage to neighbouring properties as a result of construction is a civil matter between respective landowners. This is not a matter which the planning system can manage or resolve.

In relation to the piecemeal approach to submission of applications, whilst the Local Planning Authority sympathises with the frustrations of neighbours to this end, it has no grounds to prevent such an approach. Failure to register and assess a valid planning application would likely constitute unreasonable behaviour which may leave the Local Planning Authority liable for a costs award. Each application is assessed on its relative merits taking account of current policy and all valid material considerations.

It is noted that some concerns have been raised in relation to the potential for noise and disturbance experienced by existing neighbouring residents during construction, to result in harm to amenity. It is recognised that subterranean development is potentially more intensive than other forms of construction. The applicant has however specified the particular construction method they intend to use (continuous flight augur piling) which is stated to be the quietest form of piling and virtually vibration free. This construction method can be secured by condition if permission is granted. Limited construction hours can also be secured by condition. As construction impacts would be temporary in nature, thus not causing permanent harm to amenity, this would not represent sufficient grounds to substantiate the refusal of planning permission.

A detailed assessment of the acceptability of the proposed development in relation to all of the points raised following public consultation will follow in subsequent sections of this report.

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RELEVANT POLICIES

Planning (Listed Buildings and Conservation Areas) Act 1990
 National Planning Policy Framework - July 2018
 Bristol Local Plan comprising Core Strategy (Adopted June 2011)
 Site Allocations and Development Management Policies (Adopted July 2014)
 Whiteladies Road Conservation Area Enhancement Statement (1993)

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

ASSESSMENT

As noted above, the acceptability of development of a two storey, four bedroom house at the site has previously been established by earlier applications. Specifically, application reference: 14/02040/F, granted permission in September 2014 and subsequently varied under applications: 14/05553/X, 15/01151/X (allowed on appeal) and 17/00719/X. It is understood that development has materially commenced on the aforementioned proposals. The permission is therefore extant and is a material consideration of considerable weight in determination of the current application. Assessment of the current application will therefore relate primarily to the differences between the granted extant permissions and the current proposals. This relates solely to the introduction of a proposed basement level. The key planning matters in relation to the proposed basement level will be addressed within the following sections.

(A) IMPACT TO EXISTING TREES

Section 15 (Conserving and enhancing the natural environment) of the National Planning Policy Framework (NPPF, 2018) states that planning policies and decisions should contribute to and enhance the natural and local environment by: "recognising the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services - including the economic and other benefits of the best and most versatile agricultural land, and of trees and woodland".

Paragraph 175 of the NPPF proceeds to outline that when determining planning applications, local planning authorities should apply the following principles: "development resulting in the loss or deterioration of irreplaceable habitats (such as ancient woodland and ancient or veteran trees) should be refused, unless there are wholly exceptional reasons and a suitable compensation strategy exists". Exceptional reasons exist in scenarios such as infrastructure projects (including nationally significant infrastructure projects, orders under the Transport and Works Act and hybrid bills), where the public benefit would clearly outweigh the loss or deterioration of habitat.

Policy BCS9 (Green Infrastructure) of the Bristol Cores Strategy outlines that the integrity and connectivity of the strategic green infrastructure network will be maintained, protected and enhanced. Opportunities to extend the coverage and connectivity of the existing strategic green infrastructure network should be taken. Individual green assets should be retained wherever possible and integrated into new development. Loss of green infrastructure will only be acceptable where it is allowed for as part of an adopted Development Plan Document or is necessary, on balance, to achieve the policy aims of the Core Strategy. Appropriate mitigation of the lost green infrastructure assets will be required. Development should incorporate new and/or enhanced green infrastructure of an appropriate type, standard and size. Where on-site provision of green infrastructure is not possible, contributions will be sought to make appropriate provision for green infrastructure off site.

Policy DM17 (Development Involving Existing Green Infrastructure) of the Site Allocations and Development Management Policies Local Plan (SADMP) outlines that development should integrate

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important existing trees. Development which would result in the loss of Ancient Woodland, Aged trees or Veteran trees will not be permitted. It is suggested that where tree loss or damage is essential to allow for appropriate development, replacement trees of an appropriate species should be provided in accordance with the standard set out within Policy DM17 known as the Bristol Tree Replacement Standard (BTRS).

In this case, there are no trees or green infrastructure at the site itself however trees are present at adjacent neighbouring properties. Specifically, these include a mature Norway Maple of moderate quality and a smaller Hawthorn tree of low quality which are located within the neighbouring garden at the shared boundary between 14 and 15 Ashgrove Road. A Silver Birch is also located within the rear garden of 14 Ashgrove Road, albeit further from the boundary.

The proposed basement, by means of proposed excavation and foundation design includes substantive groundworks. This would be substantially greater than the original proposals approved under application reference: 14/02040/F. Arboricultural details including detailed foundation proposals were required by condition and approved under application: 16/01198/COND.

An earlier application seeking permission for a proposed basement level (18/03099/F) was withdrawn following concerns raised by officers with regard to impact to the stability and root area of the adjacent Norway Maple.

The current proposal as a result of the previous concerns has been reduced in depth by 2m, with the rear basement wall moved away from the eastern boundary towards the garden of 14 Ashgrove Road. The application has also been supported with further arboricultural information. This includes details of a trial trench which was excavated to 1.5m in depth, approximately 1m from the boundary. This is towards the adjacent Norway Maple tree in the rear garden of 14 Ashgrove Road. The trench has been inspected by the applicant's arboricultural consultant and the results are supplied within a Site Inspection Report. This finds that no tree roots were revealed by the excavation.

This methodology and the results have been reviewed by the Local Authority Arboricultural Officer and the findings are agreed with. It can therefore be concluded with a fairly high degree of certainty that the proposed ground works will not encounter roots relating to the adjacent trees and no issues are raised that would warrant refusal on this basis by the BCC Arboricultural Officer. The position of the basement away from the boundary as well as the proposed construction method (concrete piles inserted prior to excavation) will also prevent significant impact to the structural stability of the tree. Some concern was raised by the Arboricultural Officer in relation to the potential nuisance to eventual occupiers of the dwelling through leaf and deadwood from the tree falling over the site. There is likely to be ongoing pressure for pruning of the tree however any works would require prior notification of the Local Planning Authority and would be assessed on a case by case basis. Further, the situation would be directly comparable to the scenario under the extant permissions and therefore, this would not warrant the refusal of permission in this case.

Overall, it is found that the proposed basement level would avoid harm to the health and longevity of adjacent trees. The development would therefore preserve trees and green infrastructure and the appearance and character of the conservation area would also be preserved.

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(B) APPEARANCE, CHARACTER AND HERITAGE ASSETS

The Authority is required (under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990) to pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area. The case of *R (Forge Field Society) v Sevenoaks DC* [2014] EWHC 1895 (Admin) ("*Forge Field*") has made it clear where there is harm to a listed building or a conservation area the decision maker "must give that harm considerable importance and weight".

Section 12 (Achieving well-designed places) of the NPPF outlines that "The creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities". Planning policies and decisions should aim to ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users⁴⁶; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

Section 12 of the NPPF also states that "Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents".

Section 16 (Conserving and enhancing the historic environment) of the NPPF outlines that heritage assets "are an irreplaceable resource, and should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of existing and future generations.

Paragraph 189 of the NPPF states that "In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary".

Paragraph 195 of the NPPF states that "Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse

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consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a) the nature of the heritage asset prevents all reasonable uses of the site; and
- b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and
- d) the harm or loss is outweighed by the benefit of bringing the site back into use.

Paragraph 196 of the NPPF states that "Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use".

Policy BCS21 (Quality Urban Design) of the Core Strategy advocates that new development should deliver high quality urban design that contributes positively to an area's character and identity, whilst safeguarding the amenity of existing development.

Policy DM26 (Local Character & Distinctiveness) of the Site Allocations & Development Management Policies (SADMP) Local Plan outlines that all development is expected to contribute positively to an area's character and identity. The policy builds on policy BCS21 (above) by stipulating the characteristics which development should seek to respond to. General principles include:

- i. Responding appropriately to and incorporating existing land forms, green infrastructure assets and historic assets and features; and
- i. Respecting, building upon or restoring the local pattern and grain of development, including the historical development of the area; and
- ii. Responding appropriately to local patterns of movement and the scale, character and function of streets and public spaces; and
- iii. Retaining, enhancing and creating important views into, out of and through the site; and
- iv. Making appropriate use of landmarks and focal features, and preserving or enhancing the setting of existing landmarks and focal features; and
- v. Responding appropriately to the height, scale, massing, shape, form and proportion of existing buildings, building lines and set-backs from the street, skylines and roofscapes; and
- vi. Reflecting locally characteristic architectural styles, rhythms, patterns, features and themes taking account of their scale and proportion; and
- vii. Reflecting the predominant materials, colours, textures, landscape treatments and boundary treatments in the area.

The policy states that "development will not be permitted where it would be harmful to local character and distinctiveness or where it would fail to take the opportunities available to improve the character and quality of the area and the way it functions."

Policy DM27 (Layout and Form) of the SADMP outlines that the layout, form, pattern and arrangement

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of streets, open spaces, development blocks, buildings and landscapes should contribute to the creation of quality urban design and healthy, safe and sustainable places. It should make efficient use of land, provide inclusive access and take account of local climatic conditions.

Proposals should not prejudice the existing and future development potential of adjoining sites or the potential for the area to achieve a coherent, interconnected and integrated built form. Where such potential may reasonably exist, including on sites with different use or ownership, development will be expected to either progress with a comprehensive scheme or, by means of its layout and form, enable a co-ordinated approach to be adopted towards the development of those sites in the future.

Specifically in relation to height scale and massing, the policy states: The height, scale and massing of development should be appropriate to the immediate context, site constraints, character of adjoining streets and spaces, the setting, public function and/or importance of the proposed development and the location within the townscape. Design solutions should optimise adaptability and energy efficiency and promote health and wellbeing.

The site is located within the Whiteladies Road Conservation Area, the special character of which is described within the Conservation Area Enhancement Statement (1993).

With regard to appearance and character, it is recognised that the proposed house would be visually comparable to the extant permissions at the site. Specifically, above ground, the built parameters would directly mirror those approved under application: 17/00719/X. Beyond the insertion of an additional door within the southern side elevation of the proposed building, the proposed basement would not be visually perceived following completion. This would significantly limit the impact of the proposal to the appearance and character of the local area.

Furthermore, it is noted that adjacent buildings within the conservation area do commonly utilise a lower ground or basement level for residential purposes, including storage amongst other uses. Within this context, the proposed basement is not found in opposition to the character of the surroundings. It is consequently concluded that the development would preserve the character of the conservation area.

(C) NEIGHBOURING AMENITY

Section 12 (Achieving well-designed places), paragraph 127 of the NPPF outlines that planning policies and decisions should ensure that developments create places with a high standard of amenity for existing and future users.

Policy BCS21 (Quality Urban Design) of the Bristol Core Strategy advocates that new development should give consideration to matters of neighbouring privacy, outlook and natural lighting.

Policy DM29 (Design of New Buildings) of the SADMP states the design of new buildings should be of high quality. To achieve this, new buildings are expected to ensure that existing and proposed development achieves appropriate levels of privacy, outlook and daylight.

Policy DM30 (Alterations to Existing Buildings) of the SADMP states that extensions and alterations to existing buildings will be expected to safeguard the amenity of the host premises and neighbouring occupiers. This will be by means of ensuring extensions would not result in harmful loss of sunlight or daylight through overshadowing of neighbours. Alterations to existing buildings should also leave sufficient usable external private space for the occupiers of the building.

As aforementioned, above ground the proposed building would directly mirror the built parameters permitted under previous applications at the site. As such, the current proposal would not result in any additional overshadowing, impact to light, harm to outlook or enclosure in comparison to that previously permitted.

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The proposed basement would be for residential use ancillary to the wider house, with the applicant having indicated storage purposes on the proposed drawings. Such use would be similar in nature to the existing permitted use of the site as well as those found locally and is therefore unlikely to impact amenity or living conditions experienced at neighbouring properties.

As noted in the previous section of this report, concerns have been raised following public consultation in relation to the potential for construction to cause harm to neighbouring amenity. Whilst these concerns are recognised to be genuine and sympathised with, the temporary nature of construction noise and disturbance would not be sufficient to warrant the refusal of planning permission. Nevertheless, conditions would be applied to any eventual consent in attempt to safeguard neighboring living conditions to an extent. These would relate to conditioning construction method and hours. Whilst limited, this is the extent of control which the planning system can seek exert upon management of construction impact. If there are specific instances of excessive noise or antisocial working practices, these can be reported to the Neighbourhood Enforcement and Pollution Control teams.

Subject to the safeguarding conditions set out below, it is therefore concluded that the development would preserve a good standard of amenity for all existing and future occupants. This is in accordance with all relevant national and local planning policy and therefore the development is acceptable in this regard.

OTHER MATTERS

Highways, transport and access matters would all remain as previously approved under the extant permissions. The addition of the proposed basement would not increase the parking requirements for the development. As such, the development would not directly contribute to increased access or vehicular parking requirements beyond the existing level. A condition is recommended to prevent subdivision of the basement to form a separate residential unit without further assessment.

The proposals involve substantive groundworks on a fairly constrained site. Matters regarding structural stability are not assessed by the planning process, however the agent has confirmed that the applicant has engaged the services of an engineering consultant (KB2 Consulting Civil & Structural Engineers) to advise on this matter. As such the applicant is reminded by an advice attached to this permission that the onus is on them to ensure the structural integrity of the building and to apply for the relevant Building Regulations approval.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

The following development types will be liable for CIL:

- i. Development comprising 100m² or more of new build floorspace
- ii. Development of less than 100m² of new build floorspace that results in the creation of one or more dwellings
- iii. The conversion of a building that is no longer in lawful use

The proposed development would be CIL liable for creation of 157m² of residential floor area located within the inner Bristol charging area (£70 per m² plus indexation). This would generate CIL liability totalling an estimated £10,990 (plus indexation).

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CONCLUSION

The acceptability of a proposed four bedroom house at the site has previously been established by extant permissions. The current application seeks to introduce a proposed basement level for use as storage by the dwelling. This would not result in material harm to the appearance and character of the area and would preserve the significance of the surrounding conservation area. The application has demonstrated that no harm would result to the health and longevity of adjacent trees. Subject to conditions, the proposed development would also avoid any long term harm to neighbouring living conditions and amenity. Consequently, the application is found to accord with all relevant national and local planning policy and no material considerations have been identified which would warrant refusal. On this basis, it is recommended to Members that planning permission is granted, subject to the conditions beneath.

RECOMMENDED GRANT subject to condition(s)

Time limit for commencement of development

1. Full Planning Permission

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Pre commencement condition(s)

2. Construction hours

No construction works pursuant to the development hereby permitted shall take place outside of the hours of 08:00 and 18:00 Monday - Friday, 09:00 - 14:00 Saturday and no works at all shall take place on Sundays or Bank Holidays.

Reason: To safeguard the amenity and living conditions of neighbouring occupiers.

3. Further details: Materials

Sample panels and/or detailed specifications (as appropriate) of all proposed external finishing materials (including exterior render, stone detailing, window frames, doors, rooflights, roof cladding and roof fascia) are to be submitted and approved in writing by the Local Planning Authority before the relevant parts of the work are commenced.

The development shall be completed in accordance with the approved details before the building is occupied.

Reason: In order that the external appearance of the building is satisfactory.

4. PV Panel Details

Prior to the commencement of the relevant element of the development, details (including the exact location (to include the optimisation of positioning), dimensions, design/ technical specification and method of fixing) relating to the PV panels shall be submitted to and agreed in writing by the Local Planning Authority. The approved equipment shall be installed and

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operational prior to the first occupation of the use which they serve and retained as operational thereafter in perpetuity.

Reason: To ensure that the development contributes to mitigating and adapting to climate change and to meeting targets to reduce carbon dioxide emissions.

Pre occupation condition(s)

5. Land affected by contamination - Reporting of Unexpected Contamination

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be prepared, which is to be submitted to and be approved in writing by the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

6. Construction method

The proposed development shall be completed in full accordance with the method outlined in the supplied structural statement (Structural Stability Report, KB2 Consulting Civil & Structural Engineers, August 2018) unless otherwise agreed in writing by the Local Planning Authority.

Reason: To safeguard the amenity and living standards of adjacent residential premises.

7. Reinstatement of Redundant Accessways - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the existing accesses to the development site has been permanently stopped up and the footway reinstated in accordance with the approved plans.

Reason: In the interests of pedestrian safety.

8. Implementation/Installation of Refuse Storage and Recycling Facilities - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the refuse store, and area/facilities allocated for storing of recyclable materials, as shown on the approved plans have been completed in accordance with the approved plans. Thereafter, all refuse and recyclable materials associated with the development shall either be stored within this dedicated store/area, as shown on the approved plans, or internally within the building(s) that form part of the application site. No refuse or recycling material shall be stored or placed for collection on the public highway or pavement, except on the day of collection.

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Reason: To safeguard the amenity of the occupiers of adjoining premises, protect the general environment, and prevent obstruction to pedestrian movement, and to ensure that there are adequate facilities for the storage and recycling of recoverable materials.

9. Completion and Maintenance of Cycle Provision - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the cycle parking provision shown on the approved plans has been completed, and thereafter, be kept free of obstruction and available for the parking of cycles only.

Reason: To ensure the provision and availability of adequate cycle parking.

10. Sustainability and energy efficiency measures

The development hereby approved shall incorporate the energy efficiency measures, renewable energy, sustainable design principles and climate change adaptation measures into the design and construction of the development in full accordance with the energy and sustainability statements (Climate Change and Sustainability Report, Grazebrook Architects, April 2014 and BCS14 Energy Strategy, Green House Calcs Ltd, 10 October 2013) prior to first occupation. A total 24% reduction in carbon dioxide emissions beyond Part L 2013 Building Regulations in line with the energy hierarchy shall be achieved through improved building fabric, and a 26% reduction in carbon dioxide emissions below residual emissions through renewable technologies (solar panels) shall be achieved.

Reason: To ensure the development incorporates measures to minimise the effects of, and can adapt to a changing climate in accordance with Policies BCS13 (Climate Change), BCS14 (Sustainable Energy), BCS15 (Sustainable Design and Construction) and DM29 (Design of New Buildings).

Post occupation management

11. Non opening and obscured glazed windows

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking and/or re-enacting that Order) the proposed bathroom and landing windows to the northern elevation shall be either non-opening or top hung quarterlight opening only, and glazed with obscure glass to a specification to be agreed with the Local Planning Authority and shall be permanently maintained thereafter as such.

Reason: To safeguard the amenities of the adjoining premises from overlooking and loss of privacy.

12. No further extensions

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and/or re-enacting that Order) no extension or enlargement (including additions to roofs) shall be made to the dwellinghouse(s) hereby permitted, or any detached building erected, without the express permission in writing of the council.

Reason: The further extension of this (these) dwelling(s) or erection of detached building requires detailed consideration to safeguard the amenities of the surrounding area.

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13. No Further Windows

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and/or re-enacting that Order) no windows, other than those shown on the approved plans shall at any time be placed in the building hereby permitted without the grant of a separate planning permission from the Local Planning Authority.

Reason: To safeguard the amenities of the adjoining premises from overlooking and loss of privacy.

14. Ancillary basement use restriction

The basement area of the dwelling hereby approved shall be used only for an ancillary use, incidental to the enjoyment of the host dwelling. In particular, the basement shall not at any time be let or rented out for any purpose; moreover the additional accommodation shall not at any time in the future be sublet, sold or severed in any way from the host property the subject of this planning permission, without the grant of further planning permission.

Reason: Any other use of the basement requires further assessment with regard to amenity impact against the adopted Bristol Development Framework 2011 and the Bristol Site Allocations and Development Management Policies 2014.

List of approved plans

15. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

Arboricultural Site Inspection Report, received 8 November 2018
 Structural Stability Report, received 2 November 2018
 Indicative structural design plans - various, received 26 September 2018
 436/100 Site location and block plans, received 26 September 2018
 436/24 - C Existing plans and elevations, received 26 September 2018
 436/25 - C Existing sections - AA and BB and Elevations, received 26 September 2018
 436/26 - C Existing plan, roof plan and sections - CC and DD, received 26 September 2018
 436/27 - J Proposed plans, received 26 September 2018
 436/28 - K Proposed (Front and both sides) elevations, received 26 September 2018
 436/29 - J Proposed sections - AA, BB and DD and proposed rear elevations, received 26 September 2018
 Climate change and sustainability report, received 26 September 2018
 Climate change and sustainability report, received 26 September 2018
 Energy strategy, received 26 September 2018
 Arboricultural impact assessment, received 26 September 2018

Reason: For the avoidance of doubt.

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Application No. 18/05089/F : 15 Ashgrove Road Redland Bristol BS6 6NA

Advices

1 Construction site noise: Due to the proximity of existing noise sensitive development and the potential for disturbance arising from contractors' operations, the developers' attention is drawn to Section 60 and 61 of the Control of Pollution Act 1974, to BS 5528: Parts 1 and 2: 2009 Noise and Vibration Control on Construction and Open Sites code of practice for basic information and procedures for noise and vibration control" and the code of practice adopted by Bristol City Council with regard to "Construction Noise Control". Information in this respect can be obtained from Pollution Control, City Hall, Bristol City Council, PO Box 3176, Bristol BS3 9FS.

2 Structural impact

It is noted that the proposed works involve the substantial excavation and groundworks. The applicant is advised that the structural implications of such works have not been assessed by this application and that the onus is on the applicant to undertake any necessary structural surveys and apply for any necessary permission under Building Regulations.

3 Highways restrictions

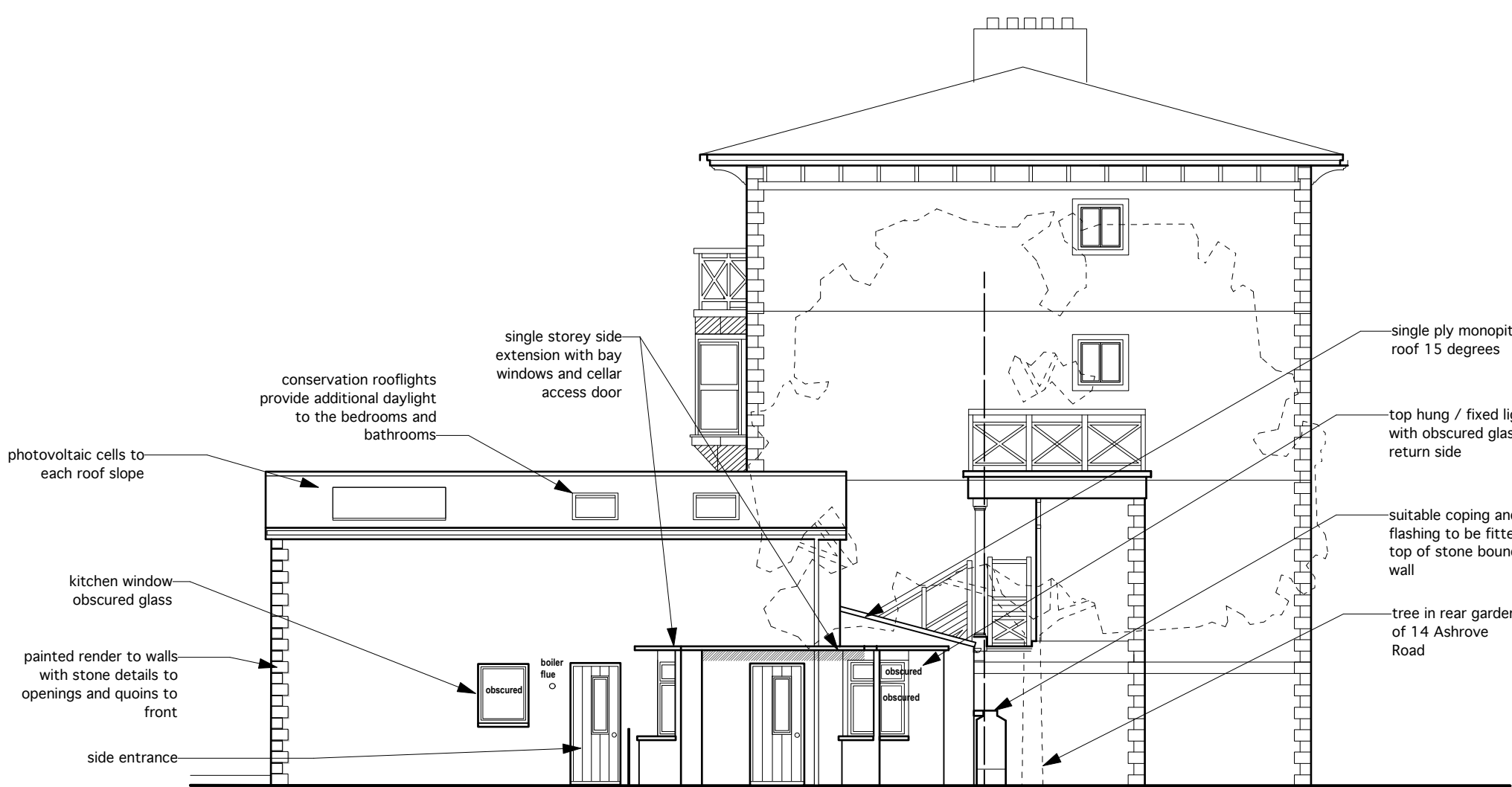
The applicant should be aware that any intended use of the public highway (footway and carriageway) must be subject of necessary approvals under Highways legislation. These should be sought via the Council's Highways team. More information is available at the following website:

<https://www.bristol.gov.uk/streets-travel/road-closures-for-temporary-works-ttro>

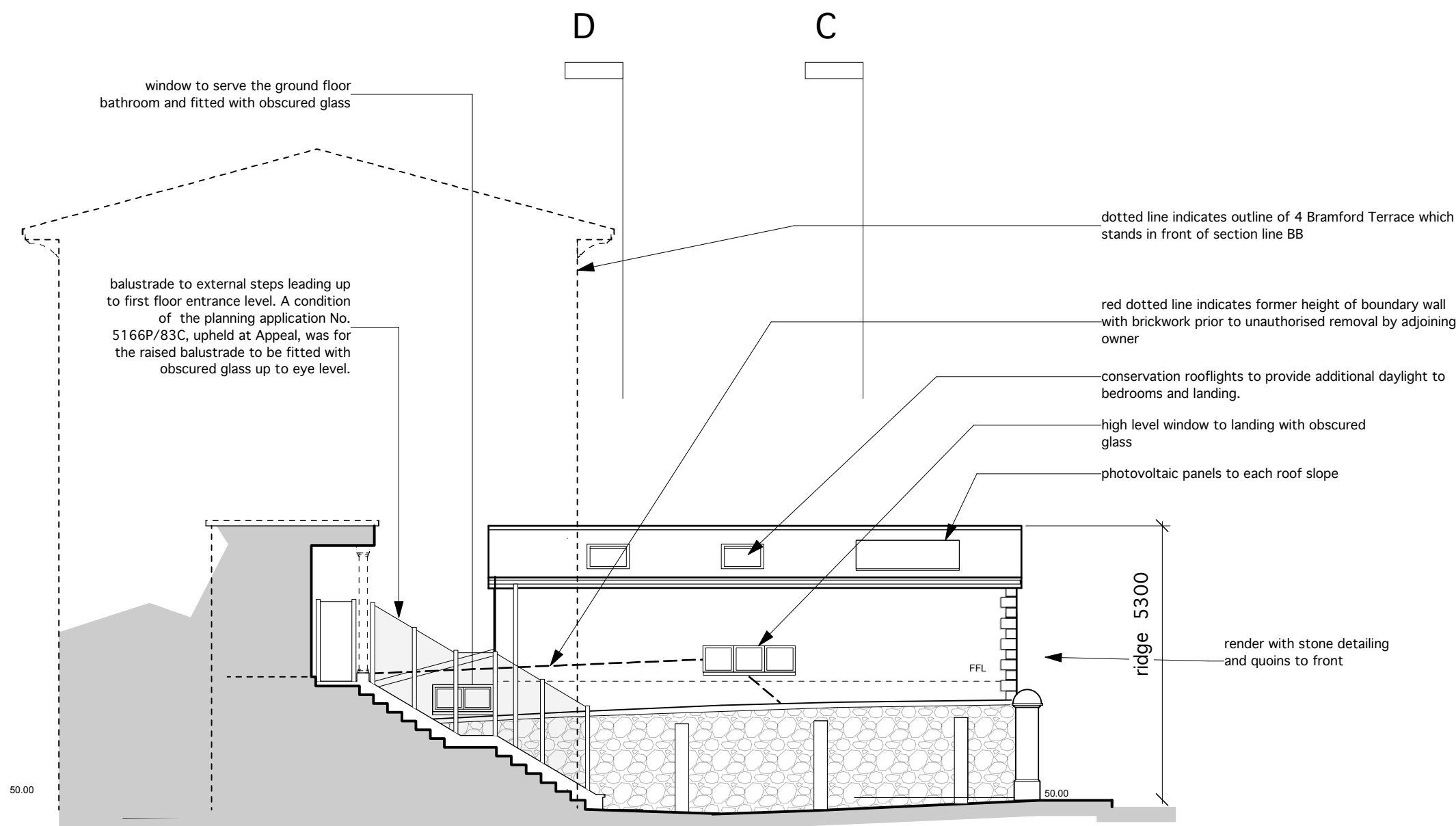
Supporting Documents

4. 15 Ashgrove Road

1. Proposed elevations
2. Proposed plans
3. Proposed sections
4. Arboricultural site inspection
5. Structural stability report
6. Site photographs



Proposed SE (Side) Elevation



Proposed Section B-B showing NW (side) Elevation



This drawing has been produced for the purposes of obtaining planning permission

| | | |
|----------|---|-------------------------------------------------------------------------|
| 25.09.18 | k | Minor amends / basement reduced as agreed |
| 26.04.18 | j | basement added with new side entrance door |
| 02.02.17 | i | minor changes to windows and omit roof light |
| 07.11.16 | h | roof pitch changed to 18.5°degrees; windows spaced |
| 26.10.16 | g | roof pitch changed from 26° to 17.5°degrees |
| 6.03.15 | f | roof pitched changed from 30 to 26 degrees. stone Quoins added to front |

| date | rev | revision |
|---------------------------------------------|-----|--------------|
| project | | |
| 15 Ashgrove Road Redland New Dwelling | | |
| client | | |
| Mr N Phillips | | |
| drawing | | |
| Proposed Elevations to Front and both Sides | | |
| scale | | date |
| 1:100 @A2 | | October 2013 |
| | | dwg No. |
| | | 436/28 k |

Grazebrook Architects

12 Dowry Square

Hotwells

Bristol

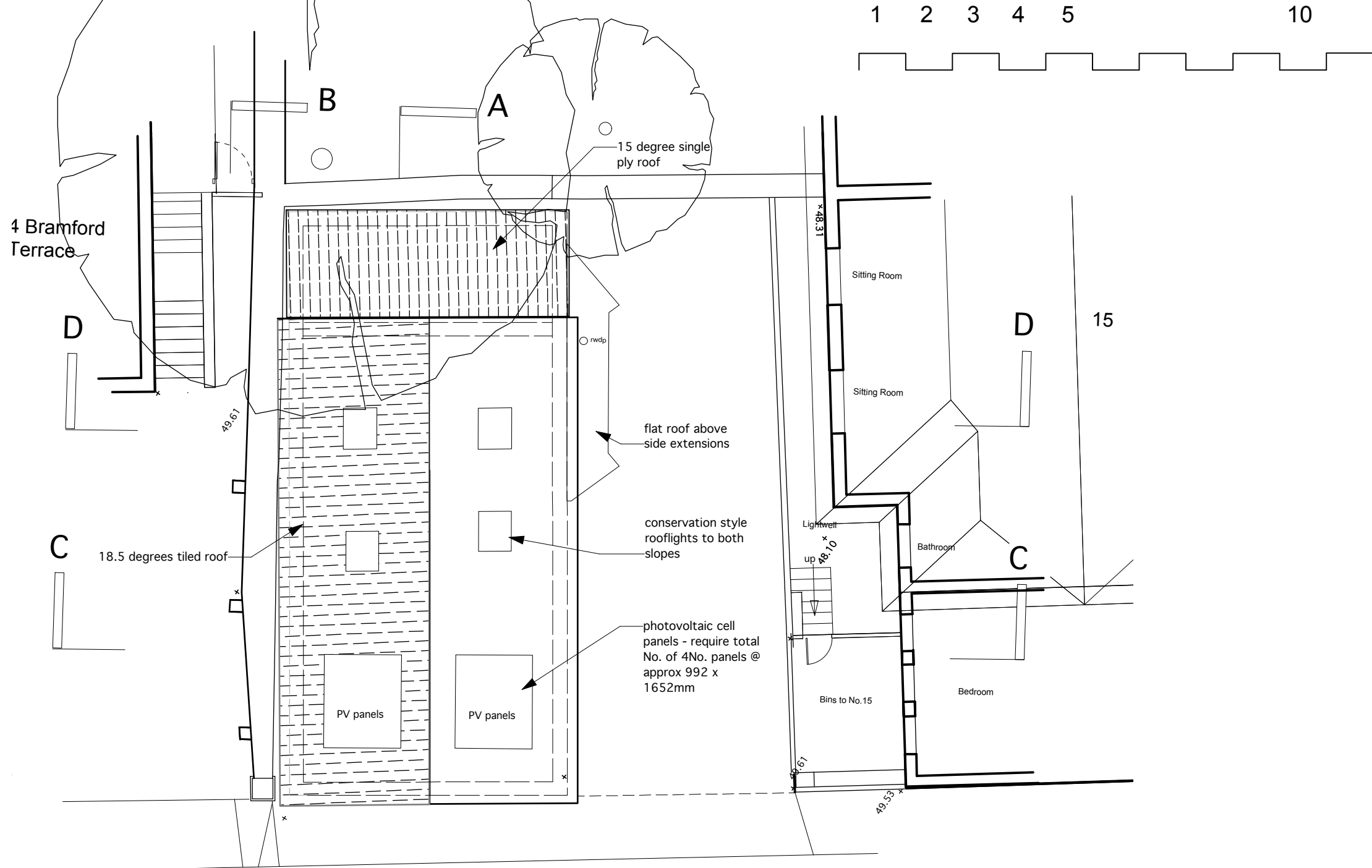
BS8 4SH

tel. (0117) 373 0802

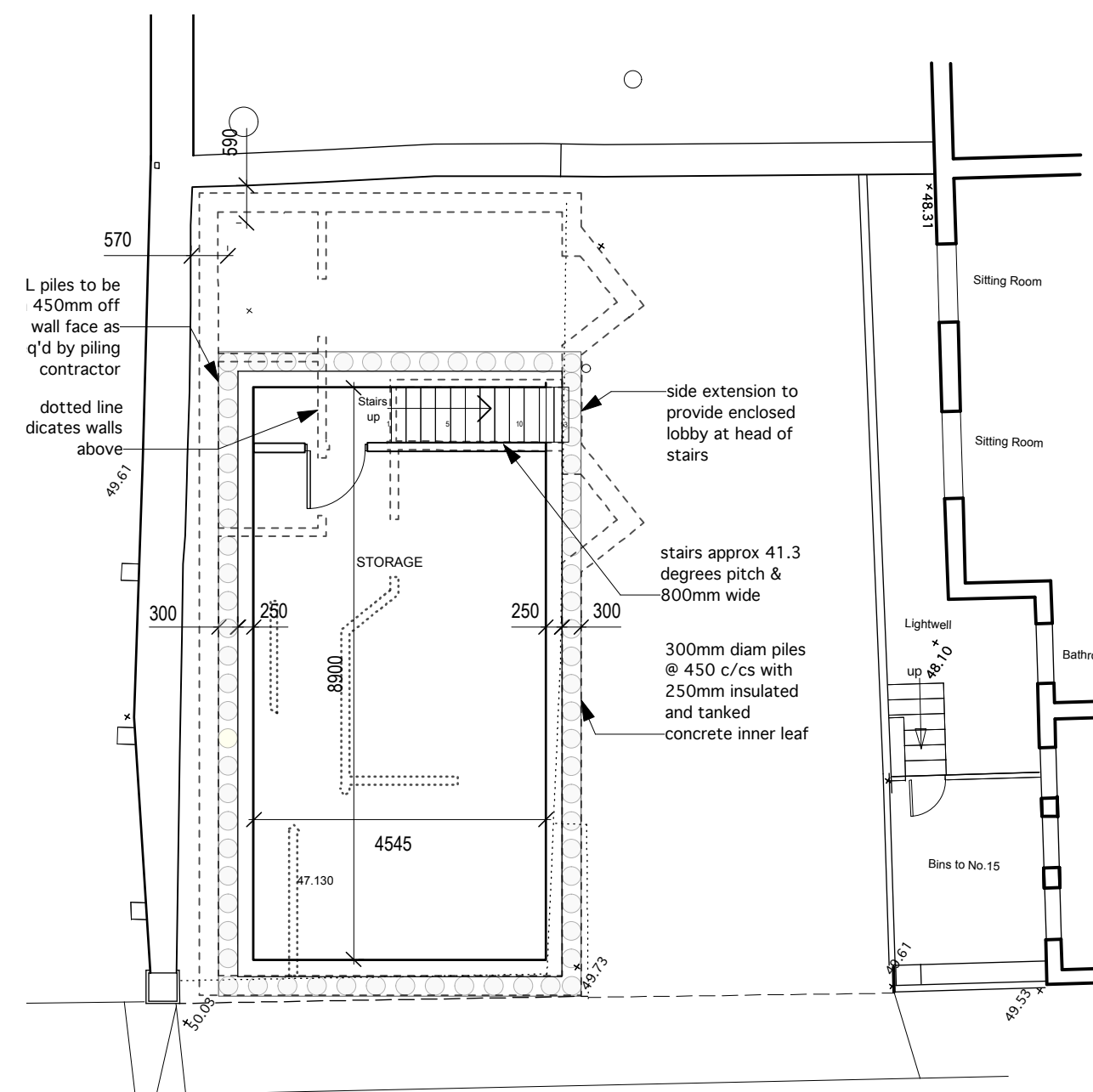
info@grazebrookarchitects.co.uk

www.grazebrookarchitects.co.uk

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Roof Plan



Basement Plan

| | | |
|----------|---|---------------------------------------------------------------------------------------------|
| 25.09.18 | j | basement reduced in size as agreed |
| 26.04.18 | h | basement added with new side entrance door. Bike store relocated down to basement |
| 2.02.17 | g | roof pitched changed from 26 to 18.5 degrees and omit roof light. Internal layout modified. |
| 6.03.15 | f | roof pitched changed from 30 to 26 degrees |

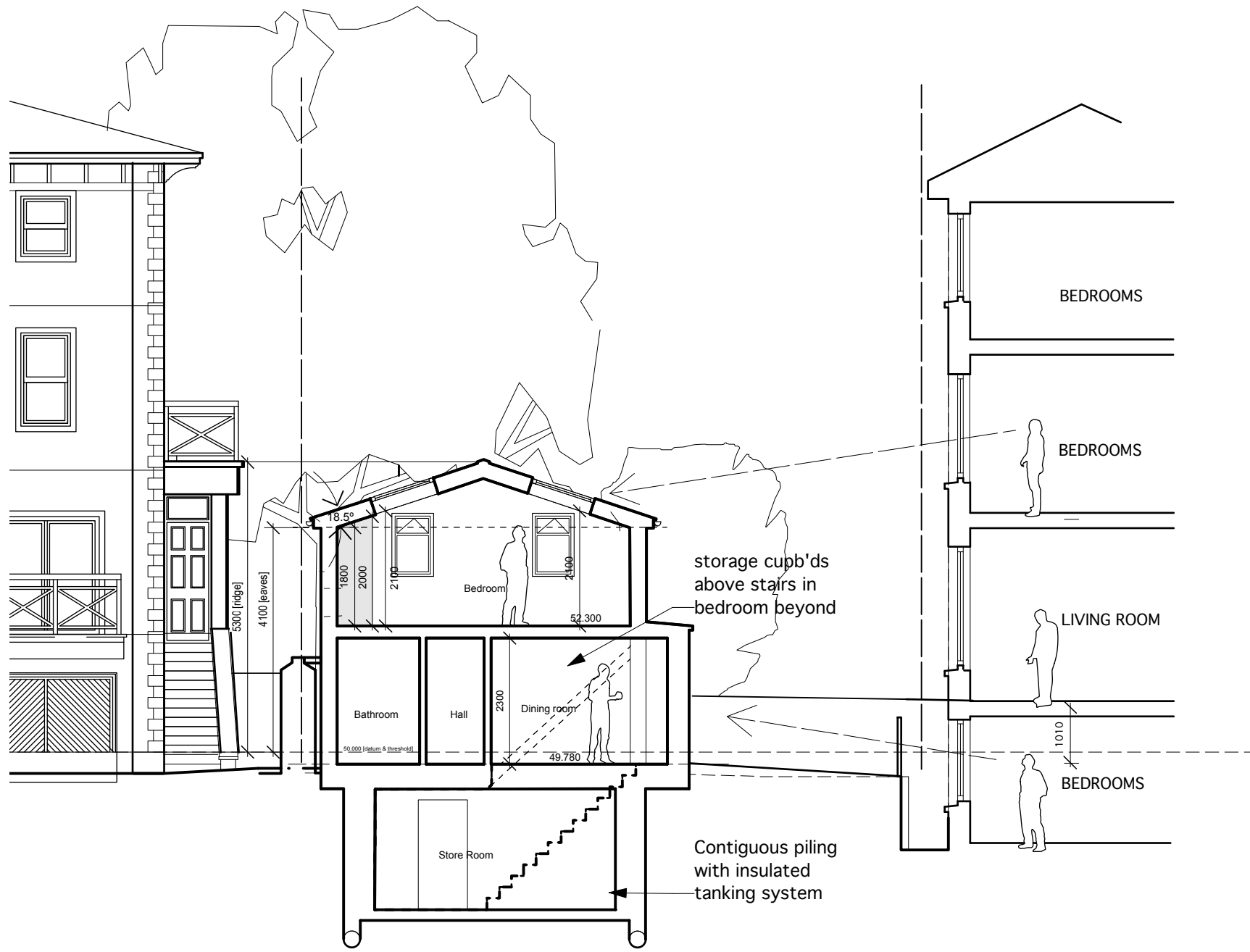
project **15 Ashgrove Road**

client **Mr N Phillips**

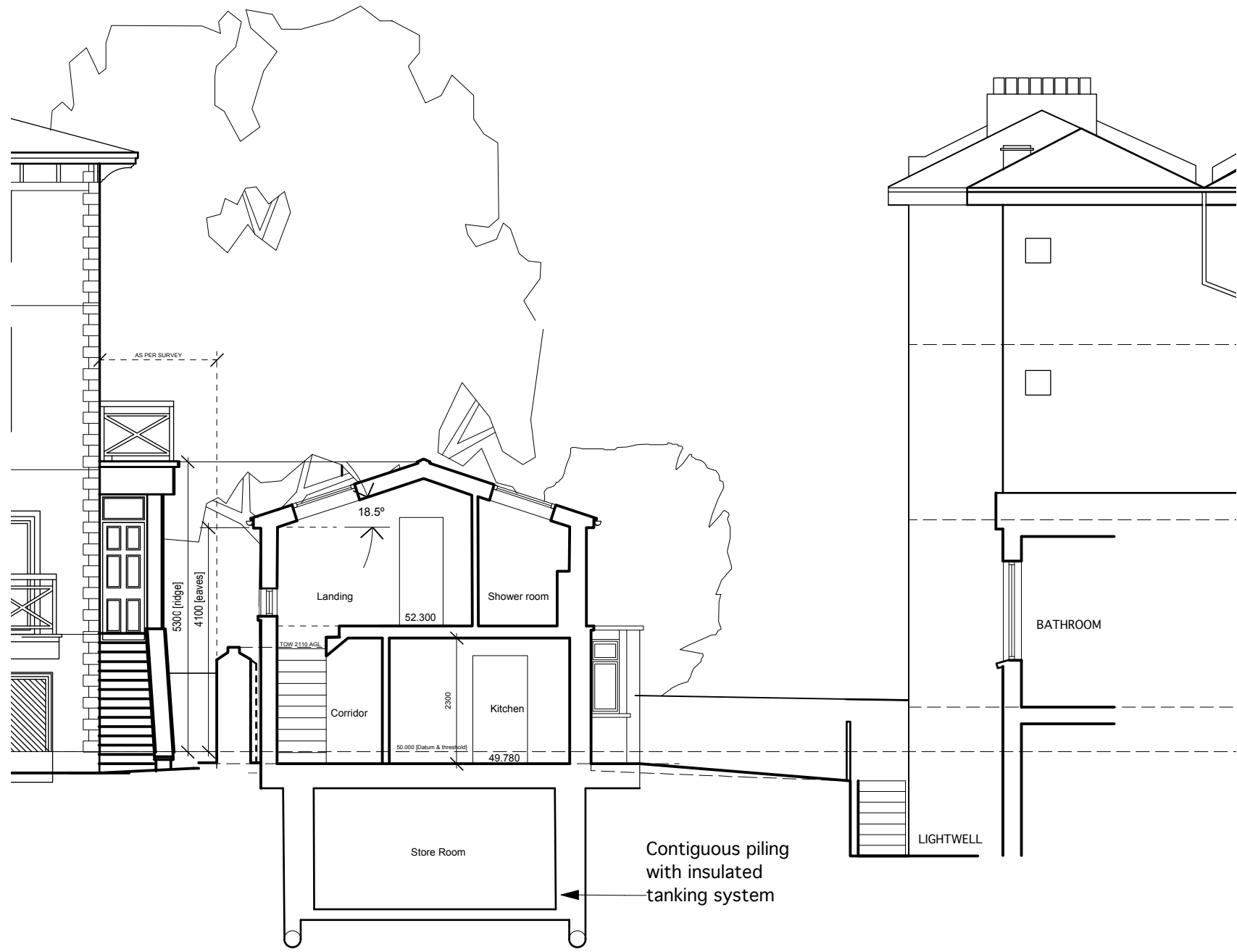
| | | | | | |
|-------|-----------|------|--------------|---------|-----------------|
| scale | 1:100 @A2 | date | October 2013 | dwg No. | 436/27 j |
|-------|-----------|------|--------------|---------|-----------------|

tel. (0117) 373 0802

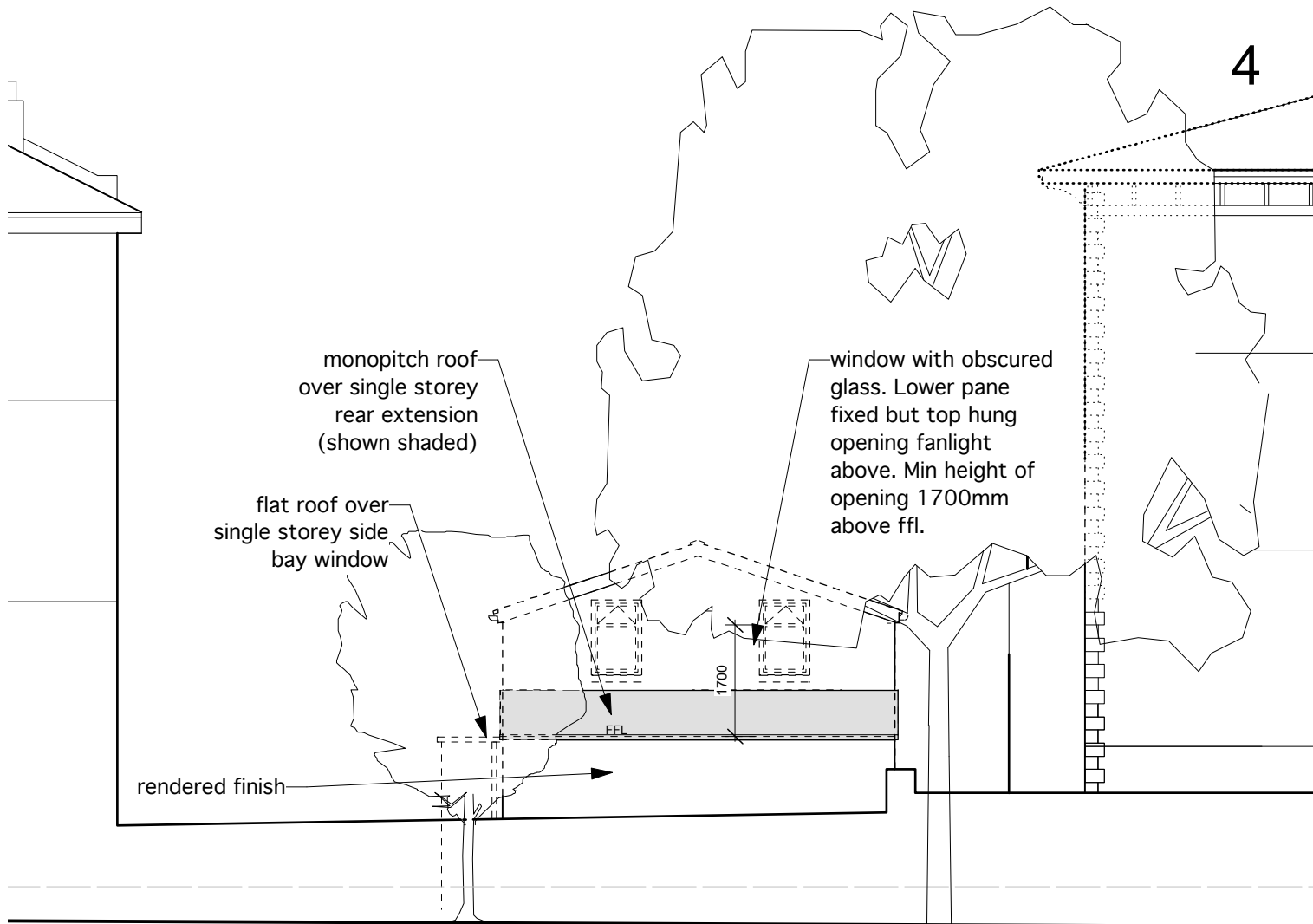
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Proposed Section D-D



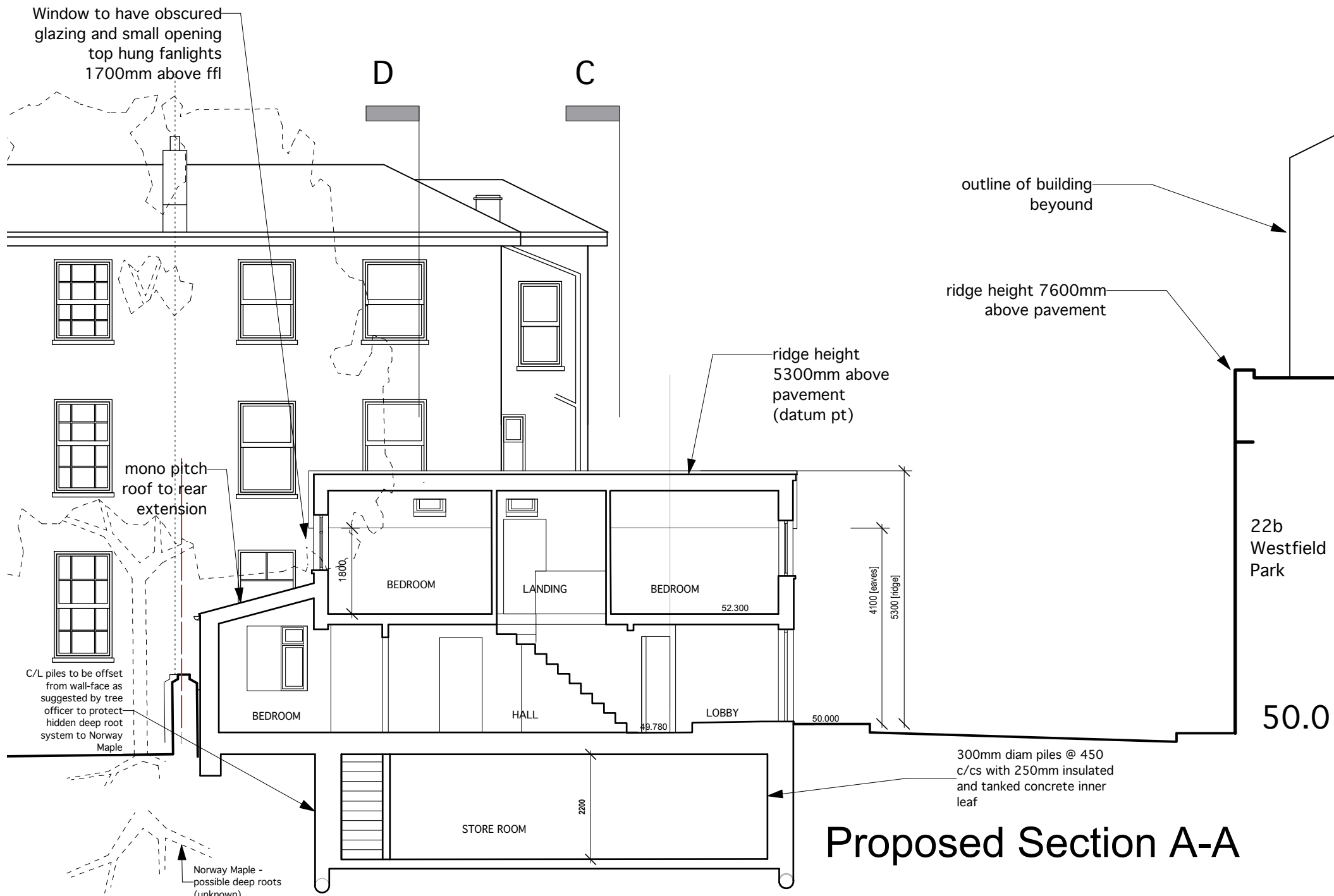
Proposed Section C-C



14 Ashgrove Rd.

Proposed NE
(Rear) Elevation

Bramford
Terrace



Proposed Section A-A

This drawing has been produced for the purposes of obtaining planning permission

| | | |
|----------|-----|----------------------------------------------------|
| 06.09.18 | j | basement reduced in size |
| 26.04.18 | i | basement added with new side entrance door |
| 2.2.17 | h | minor changes to internal layout |
| 07.11.16 | g | roof pitch changed to 18.5°degrees; windows spaced |
| 26.10.16 | f | roof pitch changed from 26° to 17.5°degrees |
| 6.03.15 | e | roof pitched changed from 30 to 26 degrees |
| date | rev | revision |

| | | |
|---------|----------------------------------------------------------|--------------|
| project | Redland New Dwelling | |
| client | Mr N Phillips | |
| drawing | Proposed Sections AA, CC & DD Proposed Rear Elevation | |
| scale | 1:100 @A2 | date |
| | | October 2013 |
| dwg No. | 436/29 J | |

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Site Inspection Report

**15 ASHGROVE ROAD, REDLAND,
BRISTOL. BS6 6NA. Revision B**

On behalf of

Neil Phillips
15 Ashgrove Road
Redland
Bristol. BS6 6NA

Inspected and prepared by

Alister Rankine BSc. (Forestry); Tech. Cert. (Arbor. A)
Arboricultural Consultant

November 2018

Date of Site Inspection:

7th November 2018

Present:

Neil Phillips

Alister Rankine - Hillside Trees Ltd

Purpose:

To inspect trial trench excavated on land at 15 Ashgrove Road in order to assess the potential impact of the excavation of a proposed basement on the roots of trees located in an adjacent neighbouring property

Background:

Mr Phillips was granted planning consent to construct a new two storey dwelling on land to the rear of 15 Ashgrove Road (Planning Application Reference: 14/02040/F).

Mr Phillips is now applying for a revised layout adding a basement to provide storage.(Planning Application Reference: 18/05089/F).

The basement walls will provide foundations for the proposed dwelling and will be constructed using rows of micro-piles.

There are three trees located in the rear garden of No.14 Ashgrove Road adjacent to the north- east of the boundary wall of the proposed new dwelling site.

Mr Phillips wishes to establish that the excavation required to construct the proposed basement would not impact on the rooting area of the neighbouring trees.

In order to ascertain the presence of roots a trial trench was originally excavated in November 2017 in the location indicated on Drawing No. 181108-15AGR-TTLP-Rev B-AR (Appendix I). The trench was excavated to a depth of 600mm. The trench was further excavated to a depth of 1500mm in August 2018. See Figure 1

The location of the trial trench to the boundary wall is approximately where the elevation of the proposed basement will be.

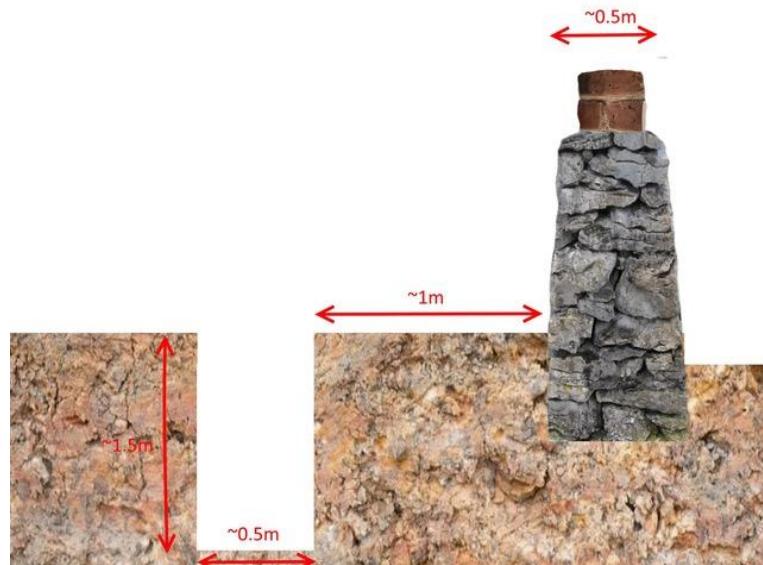


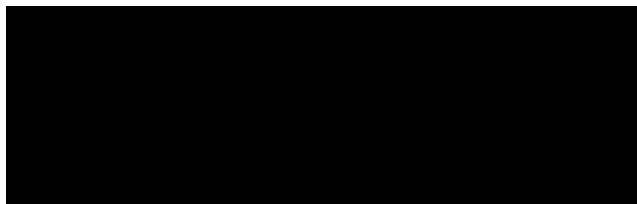
Figure 1. Trial Trench dimensions

Assessment:

The excavation of the original trial trench did not reveal any roots. The further excavation of the trial trench did not reveal any tree roots. See Plates (Appendix II).

Summary:

- No roots were revealed in the trial trench it can therefore be concluded that ***there is no penetration beyond the adjacent boundary wall of roots from the neighbouring trees.***
- The proposed basement ***will not have a physical impact on the rooting system of the neighbouring trees***
- The foundation of the former garage on the site prevented any filtration of surface moisture into the soil beneath. the construction of the new dwelling and the proposed basement will not alter the extant soil moisture content and had no implications with regard to the future welfare of the neighbouring trees.

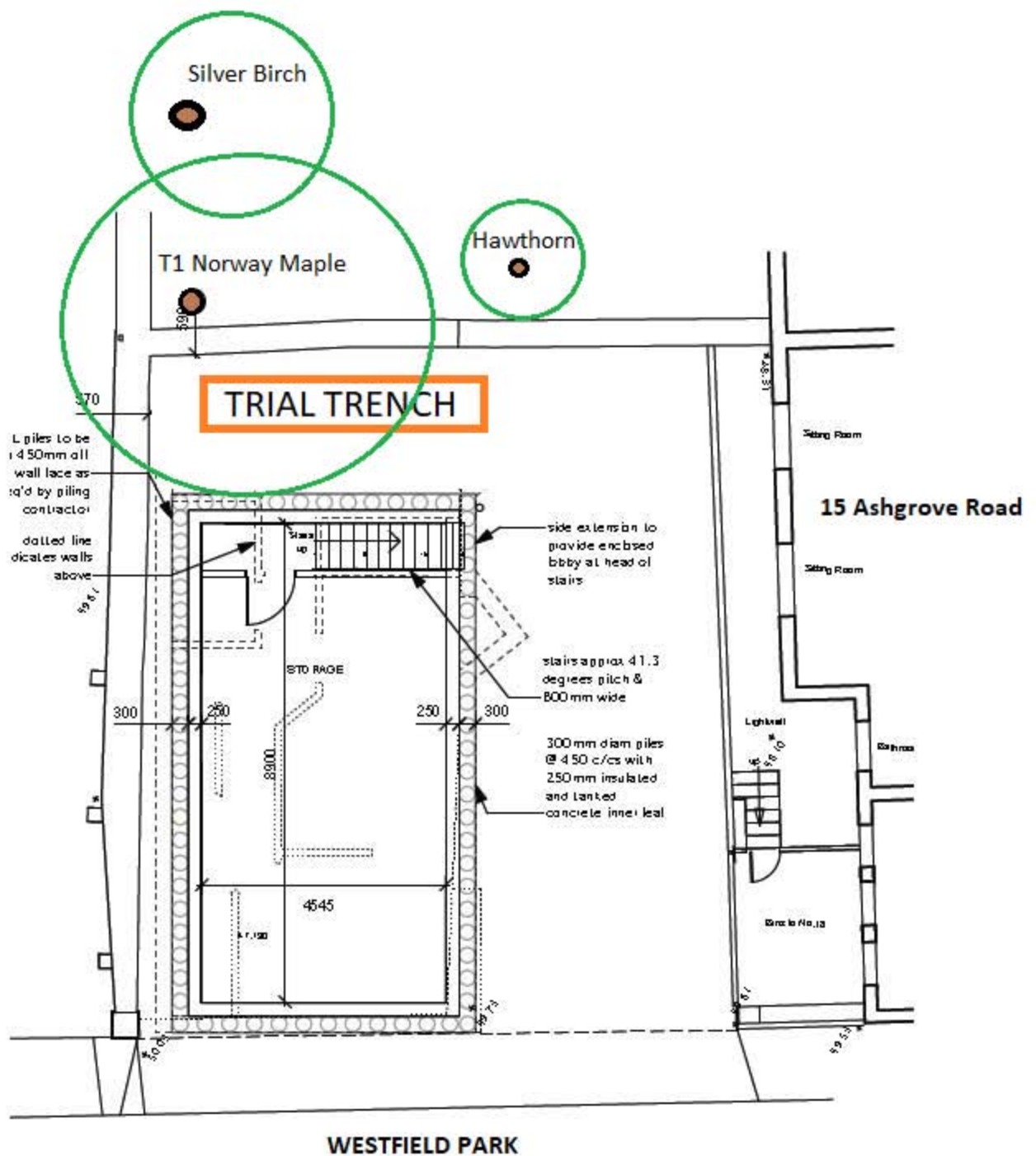


ALISTER RANKINE

8th November 2018

APPENDIX I

**Trial Trench Location Plan -
Drawing No.
1801108-15AGR-TTLP-Rev B-AR**



15 ASHGROVE ROAD, REDLAND, BRISTOL. BS6 6NA

Drawing Title:
Trial Trench Location Plan

Client:
Phillips

Drawing Number:
181108-15AGR-TTLP-Rev B-AR

Date:
November 2018

APPENDIX II

Plates

PLATES



PLATE 1. Trial Trench November 2017



PLATE 2. Trial Trench November 2017



PLATE 3. Trial Trench. August 2018



PLATE 4. Trial Trench Profile. August 2018

FOR ENGINEERING CERTAINTY



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Structural Stability Report

Basement Construction at 15 Ashgrove Road

Prepared By: Michael Humphreys BEng CEng MStructE
August 2018
216064/MH

KB² Consulting Civil & Structural Engineers
Registered in England and Wales as KB² Consulting Engineers Ltd
Company Registration no. 09517305
Registered address: 12 Dowry Square, Bristol BS8 4SH



1.0 Introduction

KB2 have been appointed by Neil Phillips to assist with the structural engineering design of a new house with a basement in Redland. The proposed building will be situated on the footprint of an existing garage building and the superstructure will be of traditional load-bearing masonry and timber construction. The basement will be formed using reinforced concrete piles and concrete slabs to form a robust structure.

Consultation of the British Geological Survey soil maps reveal that the area is underlain by the Mercia Mudstone Group - Mudstone and Halite-stone. This is likely to show on site as a red sandy clay.

The plot is bound on two sides by a substantial stone built garden walls which predate the current garage building. Beyond the rear wall is a neighbouring garden which contains a Red Maple and a Hawthorn tree.

2.0 Tree Roots

From our discussions with the Architect we understand that there is a requirement for the new development to avoid damage to the adjacent trees. To assist with this an arboriculture consultant is to be appointed to assess the existing root details and the new foundations.

3.0 Trial Pits

To gain an understanding of the existing tree roots a series of trial pits were excavated under the supervision of the Arboriculturist. A plan of the trial pit locations can be found in Appendix 1 along with sketches detailing the findings.

Trial pits TP1, TP2, TP3 and the slip trench were dug on the 26th April 2016; TP4 was dug previously. The only pit to contain any roots was TP3 which contained a c.10mm diameter root thought to belong to the Red Maple tree.

The trial pits confirmed the expected soil types for the site.

4.0 Foundation Proposals

Owing the proximity of a stone wall to the side and rear boundaries of the building it would not be practical to use conventional retaining wall construction methods. Instead the basement will be formed using contiguous reinforced concrete piles installed using the continuous flight augur technique. This method of piling results in lowered vibrations and has a minimal effect on the surrounding soils.

5.0 Sequence of Works

To ensure that the adjacent wall and the surrounding soils remain supported throughout the duration of construction a careful sequence of works will be followed. This sequence is outlined in the sketch contained within Appendix 3.

6.0 Conclusion

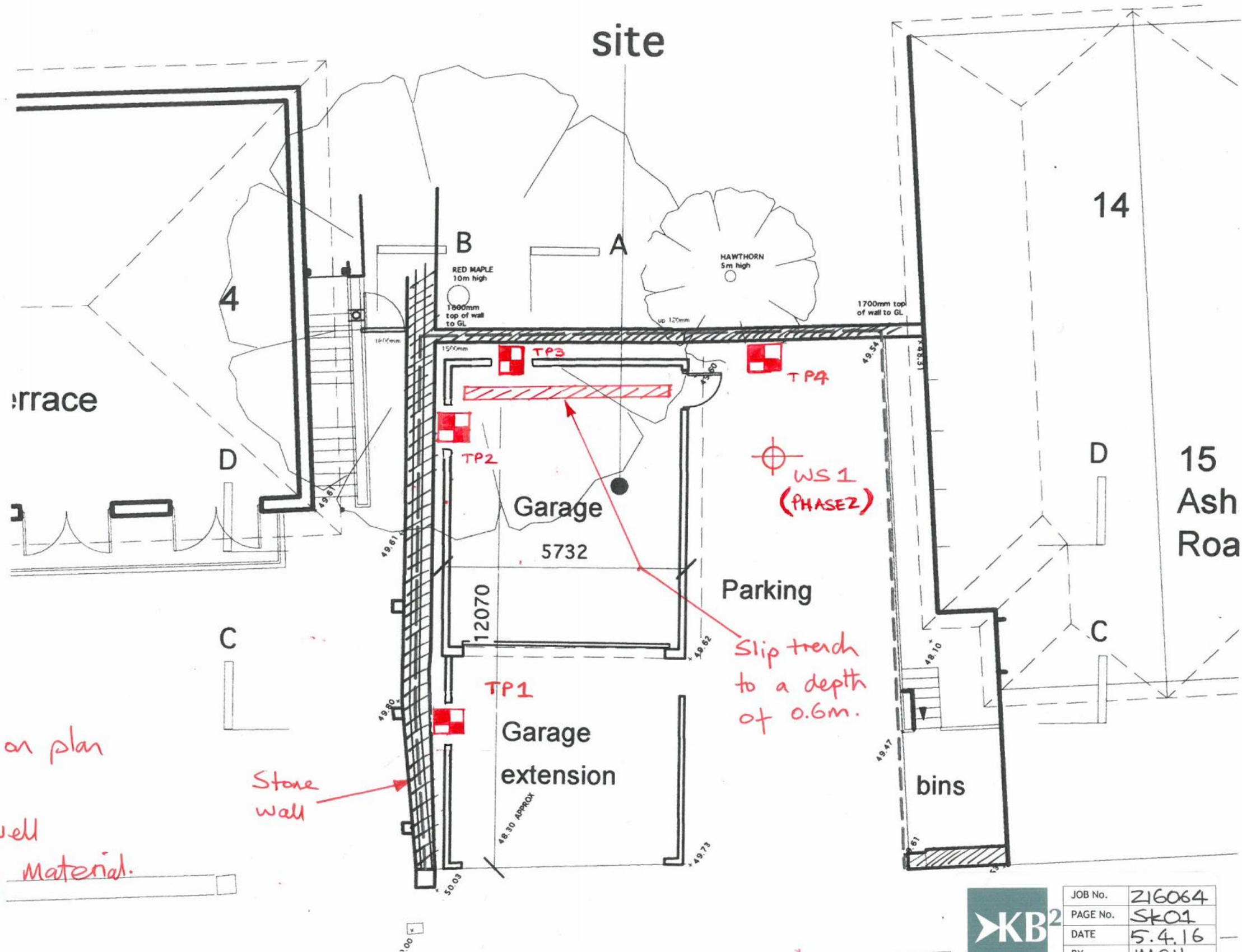
The foundation solution and proposed sequence of works have been drafted to minimise any risk to the existing wall and the surrounding soils. With careful workmanship, implementing the proposed structural works will not destabilise the adjacent land or property.

Appendix 1 - Trial Pit Data

NOTES:

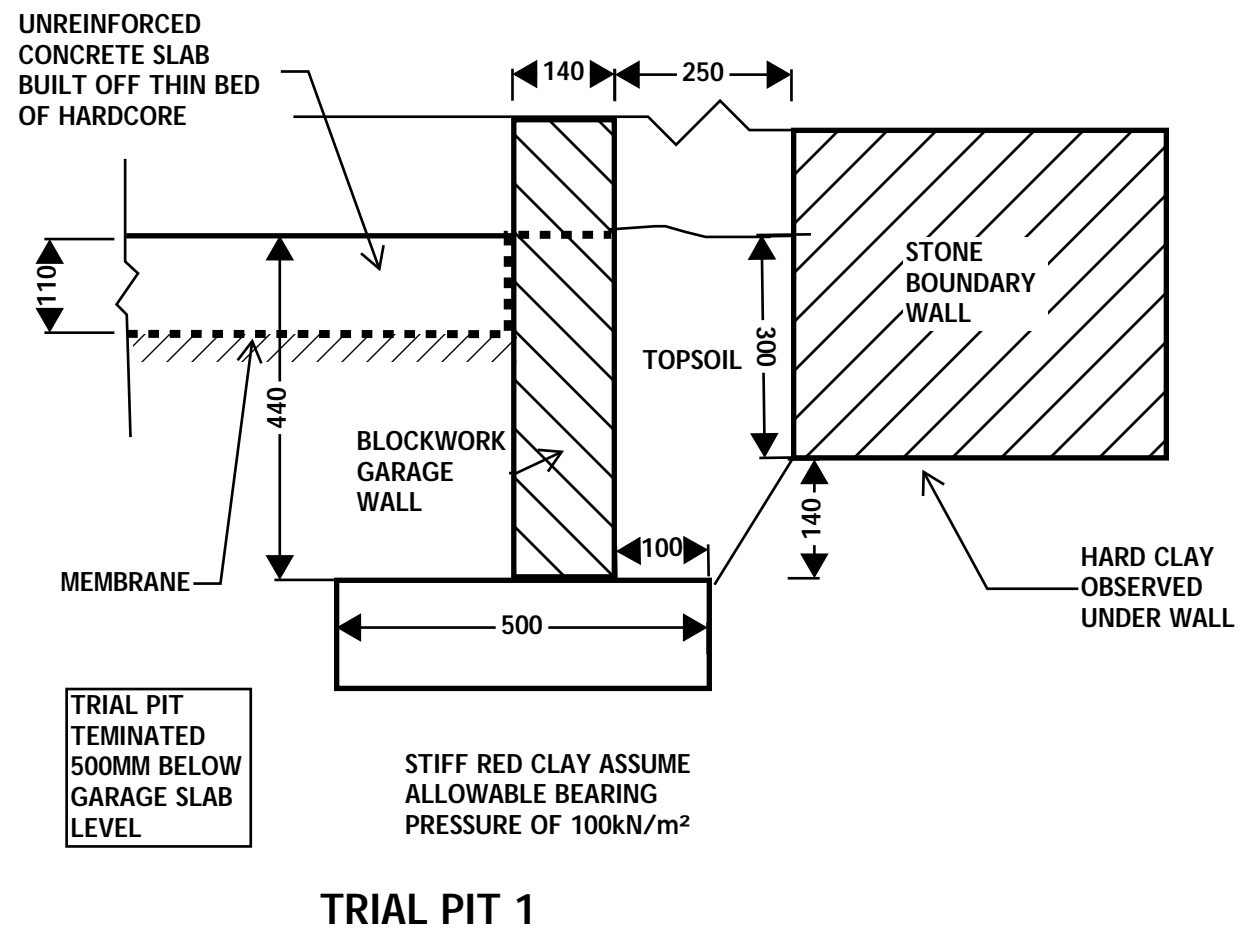
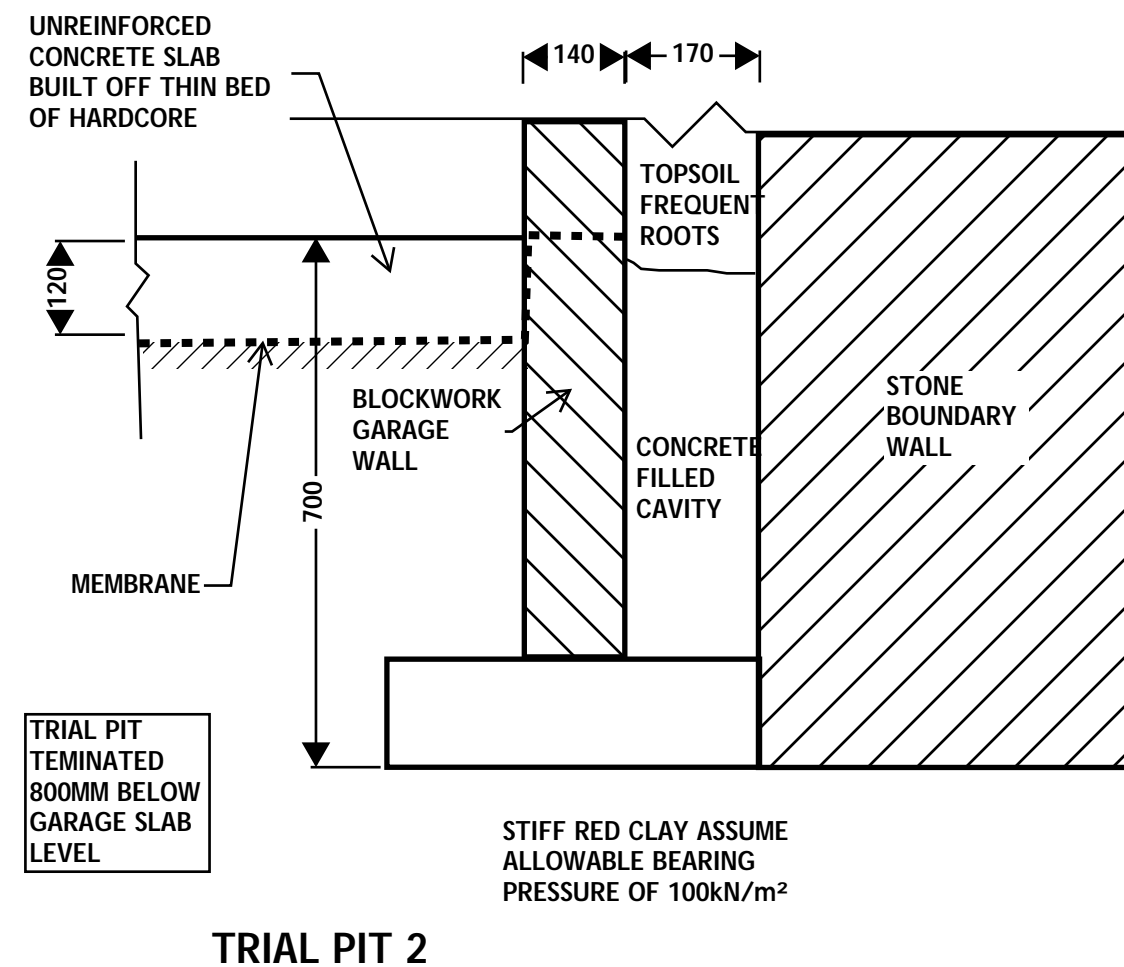
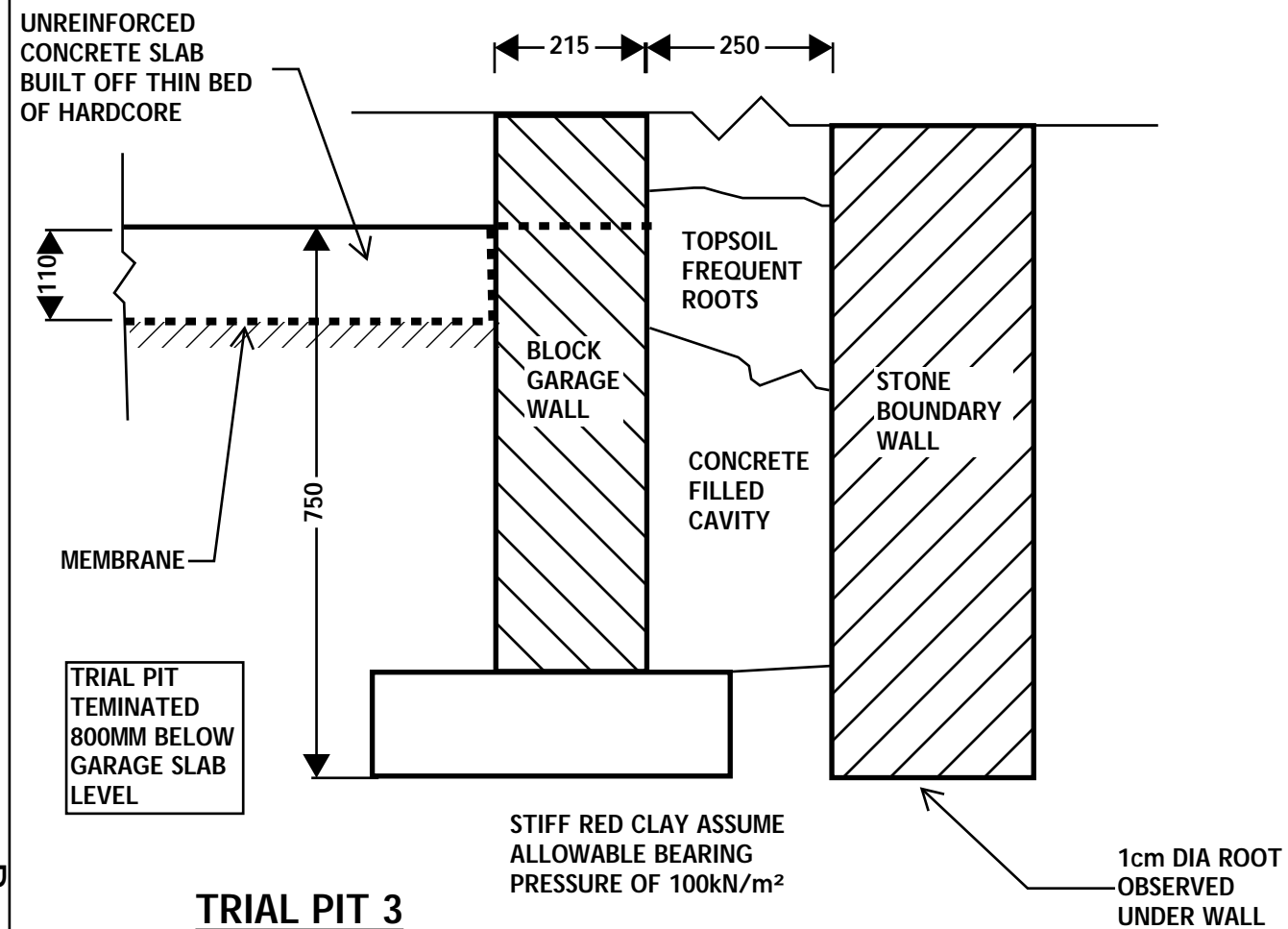
1. see trial pit Specification.
2. Arboriculturalist to be present during excavations.
3. Carefully break holes through existing walls. Provide propping to masonry above.
4. Pits to be c. 0.6m x 0.6m on plan and 0.6m deep.
5. To be backfilled with well compacted selected as dug material.

TRIAL PIT LOCATIONS




| | |
|----------|--------|
| JOB No. | 216064 |
| PAGE No. | SK01 |
| DATE | 5.4.16 |
| BY | MGH |
| CHECKED | |

PROJECT
15 ASH GROVE RD



GENERAL NOTES

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH 216064-SK01 WHICH SHOWS TRIAL PIT LOCATIONS.
2. 3NO. SHEAR VANE READING OF 50, 52 AND 55 kPa TAKEN IN SLIP TRENCH AT A DEPTH OF 800MM BELOW GARAGE SLAB LEVEL INTO VIRGIN CLAY.

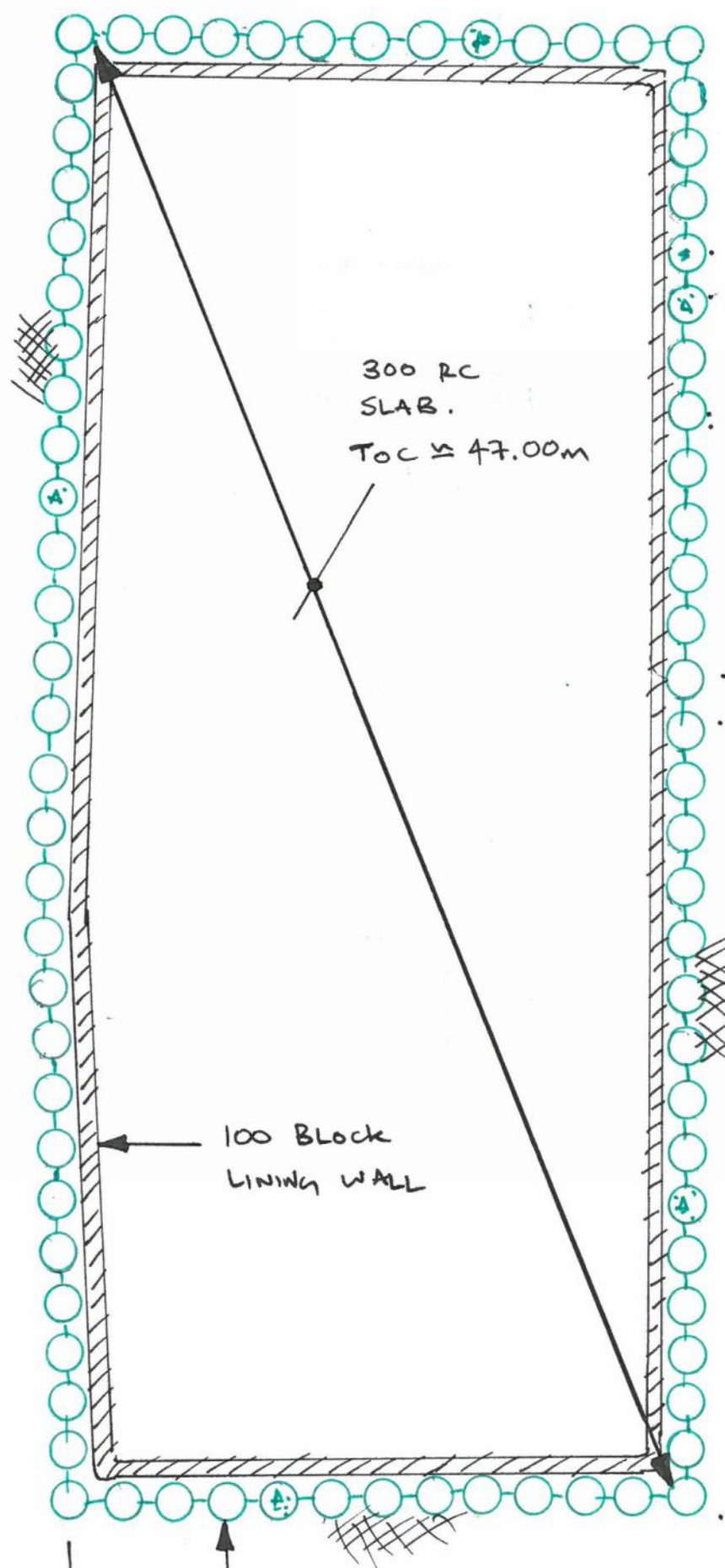
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| Rev | Date | By | Chkd | |
| Status: PRELIMINARY | | | | |
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| KB² Consulting Civil & Structural Engineers LLP Registered in England & Wales No. OC327114 | | | | |
| Client: Dr Neil Phillips, | | | | |
| Project: 15 Ashgrove Rd | | | | |
| Drawing: Trial Pits | | | | |
| SCALE: NTS | | | DATE: 10/05/16 | |
| DRAWN: DL | | | CHECKED: | |
| DRAWING NO. 216064-SK02 | | | REV: P0 | |



Appendix 2 - Foundation Scheme Drawings

EXISTING GARDEN
WALL ABOVE

PILES SET
c. 900 mm
OFF EXISTING
WALL

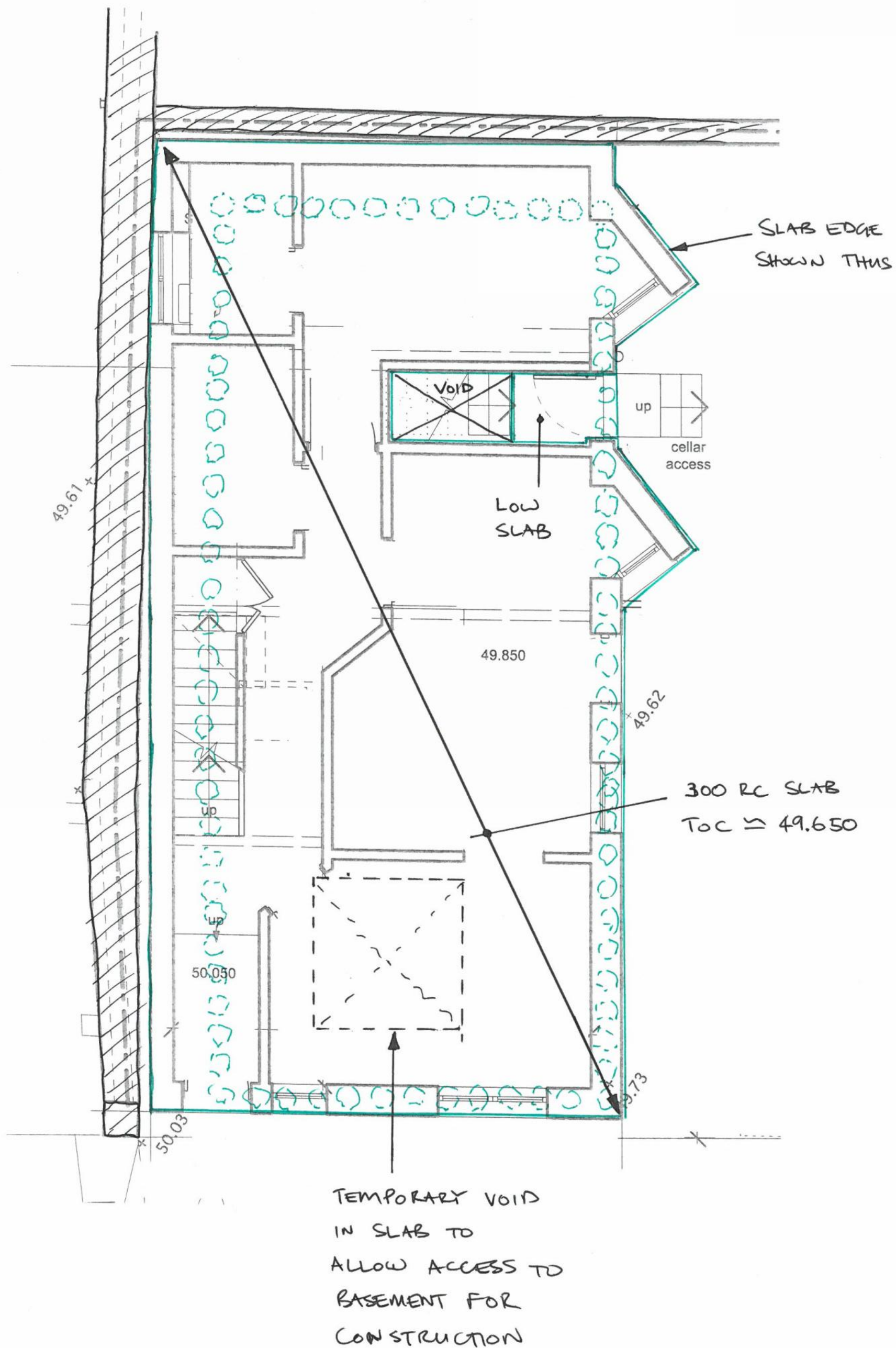


| |
|----------------------------------------------------------------------------------------------|
| <p>BASEMENT PROTECTED BY CAVITY DRAINAGE SYSTEM TO BE DESIGNED BY SPECIALIST</p> |
|----------------------------------------------------------------------------------------------|



| | |
|----------|---------|
| JOB No. | 216064 |
| PAGE No. | SK11 |
| DATE | 23.2.18 |
| BY | MAH |
| CHECKED | |

PROJECT
15 ASH GROVE ROAD



PARTY WALL SECTION

LOAD-BEARING
WALL OF NEW
HOUSE

EX. GARDEN
WALL RETAINED

GL

FINISHES
ETC BY
OTHERS

300 RC
SLAB

FFL

LINING WALL
AND CAVITY
DRAIN BY OTHERS

300 ϕ RC
CFA PILES
AT 450 c/c
c. 4m LONG

DOWEL BARS
TO PILES

300 RC
SLAB ON
50mm MC
BLINDING

Appendix 3 - Sequence of Works

